

REQUEST FOR COUNCIL ACTION

DATE: 5/18/2009
ITEM NO: 12.d

Department Approval:

City Manager Approval



Item Description: Request by AT&T (with Presbyterian Homes) for approval of a **Planned Unit Development Amendment** to allow the installation of cellular antennas on the Eagle Crest residential building at 2925 Lincoln Drive (PF09-008).

1.0 REQUESTED ACTION

AT&T Mobility (in cooperation with Eagle Crest Senior Housing LLC) is requesting a PLANNED UNIT DEVELOPMENT AMENDMENT in order allow the installation of three telecommunication antennas and a equipment shelter on the roof of the Eagle Crest building at 2925 Lincoln Drive.

Project Review History

- Application submitted: April 10, 2009; Determined complete: April 17, 2009
- Sixty-day review deadline: June 16, 2009
- Project report recommendation: April 24, 2009
- Planning Commission action (6-0): May 6, 2009
- Anticipated City Council action: May 18, 2009

2.0 SUMMARY OF STAFF RECOMMENDATION

Planning Division staff concurs with the unanimous recommendation of the Planning Commission (at the duly noticed public hearing of May 6, 2009) to support the requested PLANNED UNIT DEVELOPMENT AMENDMENT, AT 2925 LINCOLN DRIVE, as discussed in Sections 4-6 and the recommendations of Section 7 of the project report dated April 24, 2009.

3.0 SUMMARY OF SUGGESTED ACTION

ADOPT a RESOLUTION approving the PLANNED UNIT DEVELOPMENT AMENDMENT, allowing the installation of three telecommunication antenna and an equipment platform on the roof of the Eagle Crest building at 2925 Lincoln Drive, with conditions (see section 8 for detailed recommendation).

4.0 BACKGROUND

4.1 The College Properties Planned Unit Development (PUD) was approved in 1993 to allow the creation of the Eagle Crest Campus, which includes assisted living, independent senior apartments and a dementia residence. In 1998 the PUD was amended to allow for a larger dementia care facility than originally approved (see attached).

4.2 When reviewing the established PUD, the Planning Division needed to determine whether the original intent was to create a residential or business PUD. After reviewing the record, the Division determined that the subject College Properties PUD was a residential based PUD and not a business based PUD, thus requiring the need for the amendment request.

4.3 Section 1012.10 of the City Code (or 1013.10 - updated version) regulates telecommunication towers/antenna. The Code reads as follows:

1012.10: TOWER AND OTHER STRUCTURE HEIGHT AND PLACEMENT LIMITATIONS:

A. Private and Commercial Antennas and Towers:

1. City-Owned Antennas and Towers: City-owned or controlled antennas and tower sites shall be a permitted use in B Business or I Industrial Districts and a conditional use in all other districts.

2. Private Antennas and Towers: Private (noncommercial) receiving or transmitting antennas and towers more than twenty (20) feet in height above the principal structure height in residential districts or more than fifty (50) feet in height above the principal structure height in business and industrial districts shall be a conditional use in all districts.

3. Commercial Antennas and Towers - City Sites: Commercial receiving or transmitting antennas and towers regardless of height or size with the exception of satellite dish antennas shall connect to and use the City tower sites if use of such facilities is technically feasible.

4. Commercial Antennas and Towers - Non-City Sites: Commercial receiving or transmitting antennas and towers not located on a City tower site shall be a conditional use. Commercial receiving or transmitting antennas and towers may only be located in B Business or I Industrial Districts. The City may establish permit review periods, tower termination, time limits or an amortization schedule specifying the year in which the tower shall be taken down by the applicant or assign. A performance bond or other surety may be required by the City in order to assure removal of the tower at a specific date.

5. Application: The applicant shall present documentation of the possession of any required license by any Federal, State or local agency.

6. Requirements: All antennas and towers and support structures including guy wires and foundations shall be subject to the appropriate requirements of subsection A8 of this Section and the setback requirements established for accessory structures in the applicable zoning district. Antennas, towers, guy wires and foundations, and support buildings shall be constructed on one lot or parcel and shall be set back a minimum of thirty (30) feet from any front property line.

7. Design: All antennas and towers shall be designed and screened as visually appropriate, shall utilize a City-approved gray or blue color, and shall contain no signage, including logos, except as may be required by any State or Federal regulations.

8. Existing Facilities: Existing transmitting and receiving facilities at the time of the adoption of this Section may remain in service. However, at such time as any material change is made in the facilities, full compliance with this Section shall be required. No transmitting or receiving antennas or towers may be added to existing nonconforming facilities. Towers and receiving facilities shall be dismantled and removed from the site

within one year after abandonment of the use of the tower or facility for communication purposes.

9. Security Fencing: Security fencing for antennas and towers may include chainlink and barbed wire to a total height of eight (8) feet above grade.

10. Support Buildings: Support buildings to house switching and other communication equipment shall have a brick exterior, be a maximum of two hundred (200) square feet in size, twenty four (24) feet in height and have two (2) off-street, paved parking spaces.

11. Building Permit: A building permit shall be required for the construction of new antennas and/or towers and shall include wind loading and strength and footing calculations prepared by a Minnesota registered engineer. (Ord. 1166, 5-28-1996)

12. Exception: Antennas attached to, but not above, the exterior walls of buildings as an integral part of the architecture shall be a permitted use in all B Business and I Industrial Districts. Antennas attached to existing public utility structures or existing public utility towers in any zoning district, including electrical transmission towers or other structures deemed appropriate by the Director of Community Development, shall be a permitted use in all zoning districts, provided the antenna(s) do not increase the height or bulk of said structure or tower. (Ord. 1198, 1-26-1998)

B. Height Limitations: The height limitations stipulated elsewhere in this Code shall not apply to:

1. Church spires.

2. Belfries.

3. Cupolas and domes which do not contain usable space.

4. Monuments.

5. Water towers.

6. Fire and hose towers.

7. Observation towers.

8. Flagpoles.

9. Electrical transmission towers.

10. Chimneys.

11. Smokestacks.

12. Parapet walls extending not more than three (3) feet above the limiting height of the building.

13. Cooling towers.

14. Grain elevators.

15. Elevator penthouses.

C. Exception to Height Exemption: If, in the opinion of the Community Development Director, such structure would adversely affect adjoining or adjacent property, such greater height shall not be authorized except by the City Council upon recommendation of the Planning Commission. (Ord. 1166, 5-28-1996)

5.0 PROJECT OVERVIEW

5.1 In April, T-Mobile sought and received the Planning Commission's recommendation for support of three antennas and equipment platform placed on the roof of the Eagle Crest facility, and on April 20, 2009, the City Council approved this PUD Amendment request.

5.2 A cell site is typically located on an existing structure that will provide the necessary height for adequate propagation of the signal to reach targeted needs areas. AT&T Radio Frequency Engineers determine the location of these sites after analyzing customer demand, area topography, signal propagation models, and relation to existing sites.

- 121 5.3 In their narrative, AT&T indicates that the Eagle Crest site was identified as being vital
122 to meet increasing customer demands in the vicinity of Northwestern College, Snelling
123 Avenue and the surrounding neighborhood.
- 124 5.4 The proposal calls for three pairs (six total antennas) of antennas to be installed on the
125 roof of the independent senior building. The first arrangement would be mounted out of
126 sight on the rooftop penthouse window facing east (building front). The second pair
127 would be mounted to a frame on the north end of the building. The last pair would be
128 mounted on to the back (west) side of the equipment shelter.
- 129 5.5 Equipment necessary for operation of the site includes a 10 foot by 16 foot light weight
130 shelter, 10 feet in height, located on the back portion of the roof and would be located in
131 a symmetrical fashion to the proposed T-mobile equipment platform. The shelter would
132 be painted to match the proposed T-Mobile screen wall and have a gabled roof.
- 133 5.6 The Planning Division has concluded that there are no City-owned or privately-owned
134 towers that would support additional telecommunication devices in the area, therefore the
135 applicants have sought a private site to meet growing customer demand in the area.

136 **6.0 STAFF COMMENTS/RECOMMENDATION**

- 137 6.1 The Planning Division has concluded that there are conflicting requirements within this
138 section of the Code. On one hand, private telecommunication device are not permitted on
139 residential zoned property, and on the other hand, such devices are supported on church
140 spires, belfries, cupolas and water towers, which have traditionally been in residential
141 zones.
- 142 6.2 The Planning Division's review of exempted structures concludes a number of these
143 structures are located in non-business zones such as most churches and the water tower
144 which are both zoned single-family residence and a number of apartment/housing
145 complexes throughout Roseville have varying residential zones. Also, the City Hall
146 Campus had, until recently, a zoning of single family residence, which site includes a 150
147 foot tall tower albeit approved through the Conditional Use process.
- 148 6.3 Further, although the Code allows for public towers, these are rare, can only be on public
149 land, and tend to be more controversial than private sites. To say the least, it is difficult to
150 match a telecommunication need with a potential public opportunity site. It also seems
151 short sighted that a municipality be afforded the conditional use process, but the private
152 market, who knows its needs much better, cannot.
- 153 6.4 The Planning Division has reviewed the approved PUD for College Properties to
154 determine whether such devices were prohibited (they were not) or whether future
155 allowance was granted for such device installation (it was not). As a result, the Division
156 determined that the PUD could be amended to allow such devices with specific
157 conditions.
- 158 6.5 Lastly, the Planning Division believes people's reliance on telecommunication
159 technology will continue to increase, which will require careful consideration of options
160 supporting telecommunication device installation and/or towers within our municipal
161 boundaries.
- 162 6.6 Having given the AT&T proposal (as well as T-Mobile) careful consideration, the
163 Planning Division has determined that in order to minimize aesthetic visual impacts the

164 number of telecommunication devices on any one building shall be limited. The Division
165 has concluded that the allowance of two telecommunication providers (T-Mobile and
166 AT&T) is adequate for the 2925 Lincoln Drive Eagle Crest building.

167 6.7 When considering this request, the Planning Division discussed what type of impact such
168 devices could pose if allowed to be installed as proposed. The Division concluded that
169 prevailing scientific research has determined that antennas do not have harmful
170 emissions. Cell towers and equipment have also not caused interference in other forms of
171 receiving or transmitting devices. Therefore the Division's conclusion was that the only
172 potential impact would be visual or aesthetic.

173 6.8 In review of the proposal, the antenna array mounted to the penthouse window is non-
174 descript and somewhat invisible to one's view. Likewise, the antenna array mounted to
175 the equipment shelter and the antenna array mounted in the northeast portion of the
176 building roof, blend into their surroundings.

177 6.9 The equipment shelter is an object that will be viewed, but one that meet the requirement
178 of the City Code regarding rooftop mechanical units (100% screened from view at the
179 property line).

180 6.10 All of the telecommunication devices necessary for AT&T have a blending effect,
181 reducing the perceived visual/aesthetic impact when viewed by passersby or from the
182 surrounding neighborhood.

183 6.11 Based on the comments of Section 6 of this report, the Planning Division recommends
184 approval of the request for an AMENDED PLANNED UNIT DEVELOPMENT to allow a three
185 antenna arrays and equipment platform on the roof of the 2925 Lincoln Drive Eagle Crest
186 facility, subject to the following conditions:

187 a. The Eagle Crest building addressed at 2925 Lincoln Drive shall be limited to the
188 three single antenna of T-Moblle (previous approval) and the three pairs antennas
189 proposed by AT&T.

190 b. The equipmant shelter shall be painted a similar color to the T-mobile screen
191 wall.

192 c. The AT&T telecommunication devices (antenna) shall be installed per the plans
193 dated February 27, 2009.

194 d. Upon termination of AT&T's use of the subject facility, all equipment shall be
195 removed within 30 days.

196 **7.0 PLANNING COMMISSION ACTION**

197 7.1 On May 6, 2009 the Roseville Planning Commission held the duly noticed public hearing
198 regarding the AT&T request. No citizens addressed the Commission and Commissioners
199 did not have any questions of staff or the applicant.

200 7.2 The Planning Commission voted (6-0) to recommend approval of the AT&T request as
201 recommended by the Planning Division as listed in Section 6.11 of the project report date
202 April 24, 2009.

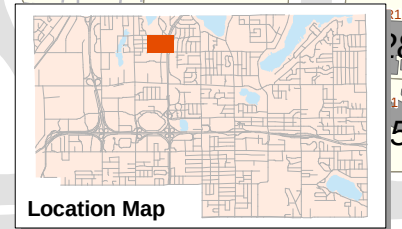
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204 **8.0 SUGGESTED ACTION**
205 **ADOPT A RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT AMENDMENT** for
206 Eagle Crest Senior Housing LLC and AT&T allowing the installation of three pair of
207 telecommunication antenna and an equipment shelter on the roof of 2925 Lincoln Drive,
208 based on the comments Sections 5 and the conditions of Section 6.11 of the project report
209 dated May 18, 2009.

Prepared by: City Planner Thomas Paschke

Attachments:	A: Area map	E: 1993 Approval
	B: Aerial photo	F: Draft PC minutes
	C: AT&T narrative	G: Draft Resolution
	D: AT&T plans & elevations	

Attachment A: Location Map for Planning File 09-008



Prepared by:
Community Development Department
Printed: April 20, 2009



Site Location

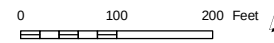
LR / R1 Comp Plan / Zoning
Designations

Data Sources

* Ramsey County GIS Base Map (3/30/2009)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



mapdoc: planning_commission_location.mxd

Attachment B: Aerial Map of Planning File 09-008



Prepared by:
Community Development Department
Printed: April 20, 2009



Site Location

Data Sources

* Ramsey County GIS Base Map (3/30/2009)

* Aerial Data: Pictometry (4/2008)

For further information regarding the contents of this map contact:
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0 50 100 Feet



**BUELL CONSULTING, INC.**

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Saint Paul, Minnesota 55114-1854
(651) 225-0792
Fax (651) 225-0795

Site Acquisition
Permitting
Est. 1991

April 10, 2009

City of Roseville
Planning Commission
c/o Community Development Department
2660 Civic Center Drive
Roseville, MN 55113

RE: PUD Amendment Application
EagleCrest
AT&T Telecommunications Facility

Dear Sir's and Madam's:

On behalf of AT&T Mobility (AT&T), please accept this letter and the attached PUD Amendment application to allow AT&T to utilize a portion of the rooftop at the EagleCrest senior apartments facility for the purposes of installing panel antennas and associated equipment in order to improve their wireless network in the surrounding area.

EQUIPMENT NEEDS AND REQUIREMENTS

Deployment of the AT&T system is accomplished through the siting of "Cell Sites" at locations that meet the Radio Frequency (RF) engineering requirements determined by AT&T RF Engineers. AT&T RF Engineers determine the location of these Cell Sites after careful analysis of customer demand, site topography, signal propagation models and relationship to existing Cell Sites. The EagleCrest building was identified by AT&T as an ideal location to meet the increasing customer demands in the vicinity of Northwestern College, Snelling Avenue, and surrounding neighborhoods.

A Cell Site needs to be located on an existing structure that will provide the necessary height for adequate propagation of the signal to reach the targeted areas. The following equipment will need to be placed on the rooftop at EagleCrest to meet the system requirements:

- Six (6) panel antennas mounted in pairs in a three (3) sector arrangement. As proposed, one pair would be mounted out of sight in the rooftop penthouse window facing the front (east) side of the building. One pair would be mounted on a frame on the north end of the building, and the third pair would be mounted on the side of the equipment shelter on the back (west) side of the building.
- Equipment necessary for the operation of the Site would be located inside a 10' x 16' lightweight shelter located on the back portion of the roof that would be located in a symmetrical fashion to the proposed T-Mobile equipment platform. The shelter would be designed and painted to match both the building and the proposed T-Mobile screenwall.

The proposed design of this installation would appear to have no effects on the existing PUD or operation of the EagleCrest facility. The use requires no unusual power or telco facilities and would have no impact on any City facilities, utilities or services.

OPEN HOUSE/NEIGHBORHOOD MEETING

As required, AT&T has scheduled an Open House at the site on April 16 from 6-7:00 PM. Detailed construction plans and photo simulations will be made available. AT&T provided notice of the meeting to residents, City Staff and elected officials based on a list generated by the Community Development Department. A total of 76 notices were sent out. A written summary of the open house will be provided to the City no later than April 20.

If you have any questions or need additional information please don't hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark P. Hemstreet". The signature is fluid and cursive, with a long horizontal stroke at the end.

Mark Hemstreet
Buell Consulting, Inc.
Authorized Representative of AT&T
651-283-5975



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Site Acquisition
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April 17, 2009

City of Roseville
Planning Commission
c/o Community Development Department
2660 Civic Center Drive
Roseville, MN 55113

RE: PUD Amendment Application
AT&T Telecommunications Facility at EagleCrest
Open House Meeting

Dear Sir's and Madam's:

As required, AT&T held an Open House at the EagleCrest senior housing facility on April 16 from 6-7:00 PM. The purpose of the Open House was to provide a forum for community members to preview and discuss the proposed AT&T plans for a rooftop wireless communications facility at EagleCrest. AT&T provided notice of the meeting to residents, City Staff and elected officials based on a list generated by the Community Development Department. A total of 76 notices were sent out. Detailed construction plans and photo simulations were presented to the attendees.

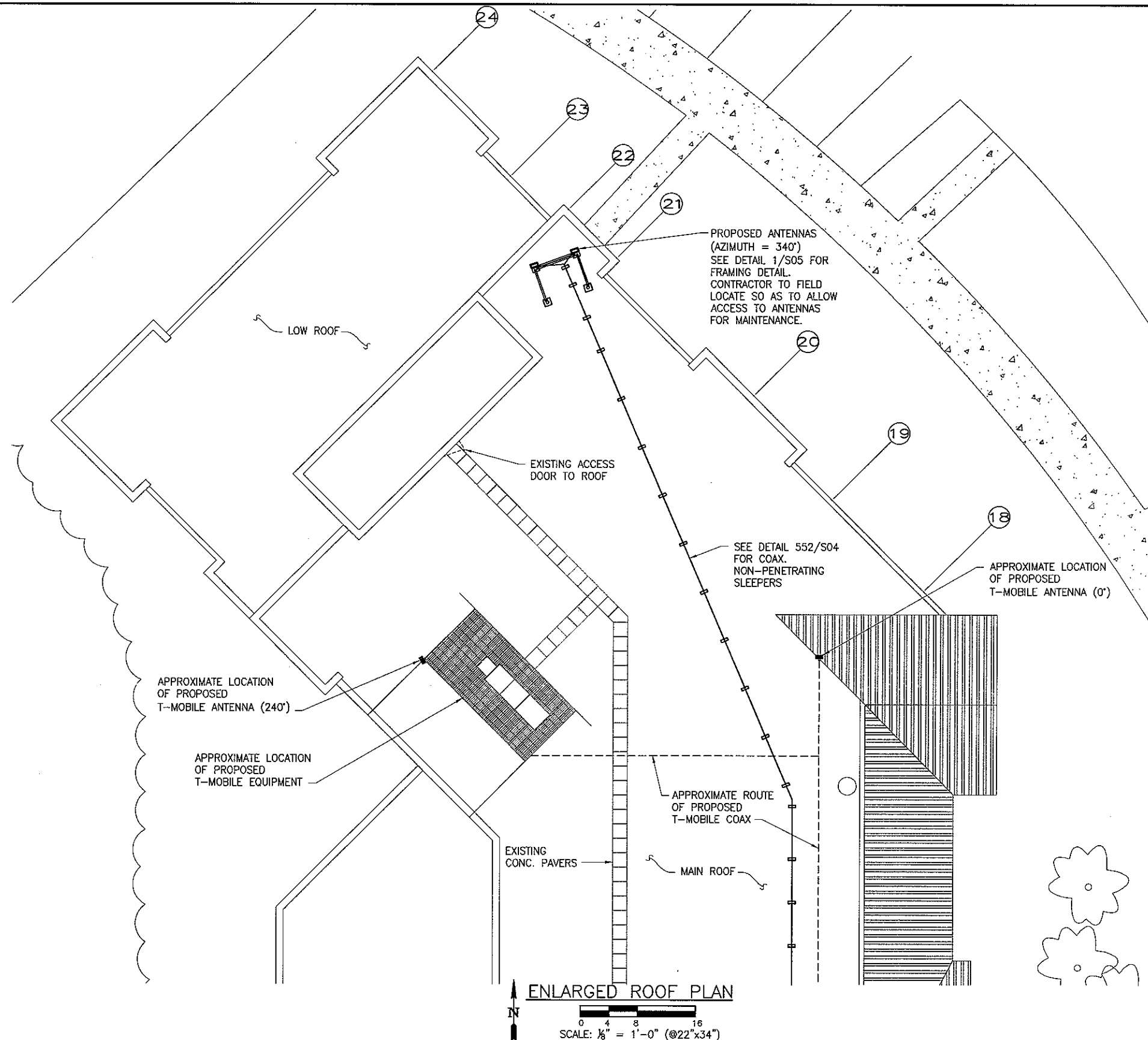
A total of two people attended the meeting. Both owned single-family residences located immediately to the west of the EagleCrest facility. After reviewing the proposed AT&T plans, neither person expressed concern or opposition to the AT&T proposal.

If you have any questions or need additional information please don't hesitate to contact me.

Sincerely,

Mark Hemstreet
Buell Consulting, Inc.
Authorized Representative of AT&T
651-283-5975

 Ulteig engineers 5201 East River Road Suite 308 Minneapolis, Minnesota 55421 Phone: 763.571.2500 Fax: 763.571.1188 Research - Denver - Detroit Lakes - Fargo - Minneapolis - St. Paul Web: www.ulteig.com Ulteig Job No. 09.00062	SITE No. MPLSMN1416 NORTHWESTERN COLLEGE		 4300 MARKET POINTE DRIVE, SUITE 350 BLOOMINGTON, MINNESOTA 55435		<table border="1"> <tr> <td>C</td> <td>04/21/09</td> <td>PER LANDLORD'S COMMENTS</td> <td>KBA</td> <td>KBA</td> <td>RAE</td> </tr> <tr> <td>B</td> <td>02/27/09</td> <td>ISSUED FOR REVIEW AND COMMENT</td> <td>KBA</td> <td>KBA</td> <td>RAE</td> </tr> <tr> <td>A</td> <td>02/04/09</td> <td>ISSUED FOR REVIEW AND COMMENT</td> <td>KBA</td> <td>KBA</td> <td>RAE</td> </tr> <tr> <td>No.</td> <td>DATE</td> <td>REVISIONS</td> <td>BY</td> <td>CHK</td> <td>APP'D</td> </tr> </table>		C	04/21/09	PER LANDLORD'S COMMENTS	KBA	KBA	RAE	B	02/27/09	ISSUED FOR REVIEW AND COMMENT	KBA	KBA	RAE	A	02/04/09	ISSUED FOR REVIEW AND COMMENT	KBA	KBA	RAE	No.	DATE	REVISIONS	BY	CHK	APP'D	THE SIGNED DRAWING IS THE CORRECT RECORD DOCUMENT, NOT THE AUTOCAD DISKETTE. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA DATE: 04/21/09 REG. No. 43119  ROBLEY A. EVANS		DRAWING NAME PLAN VIEW/ENLARGED PLAN VIEW DRAWING No. MPLSMN1416-C01		REV C
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**SITE No. MPLSMN1416
 NORTHWESTERN COLLEGE**



4300 MARKET POINTE DRIVE, SUITE 350
 BLOOMINGTON, MINNESOTA 55435

C 04/21/09		PER LANDLORD'S COMMENTS	KBA	KBA	RAE
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THE SIGNED DRAWING IS THE CORRECT RECORD DOCUMENT, NOT THE AutoCAD DISKETTE.
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 DATE 04/21/09 REG. No. 43119
 Robley A. Evans

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ENLARGED PLAN VIEW	
DRAWING No.	REV
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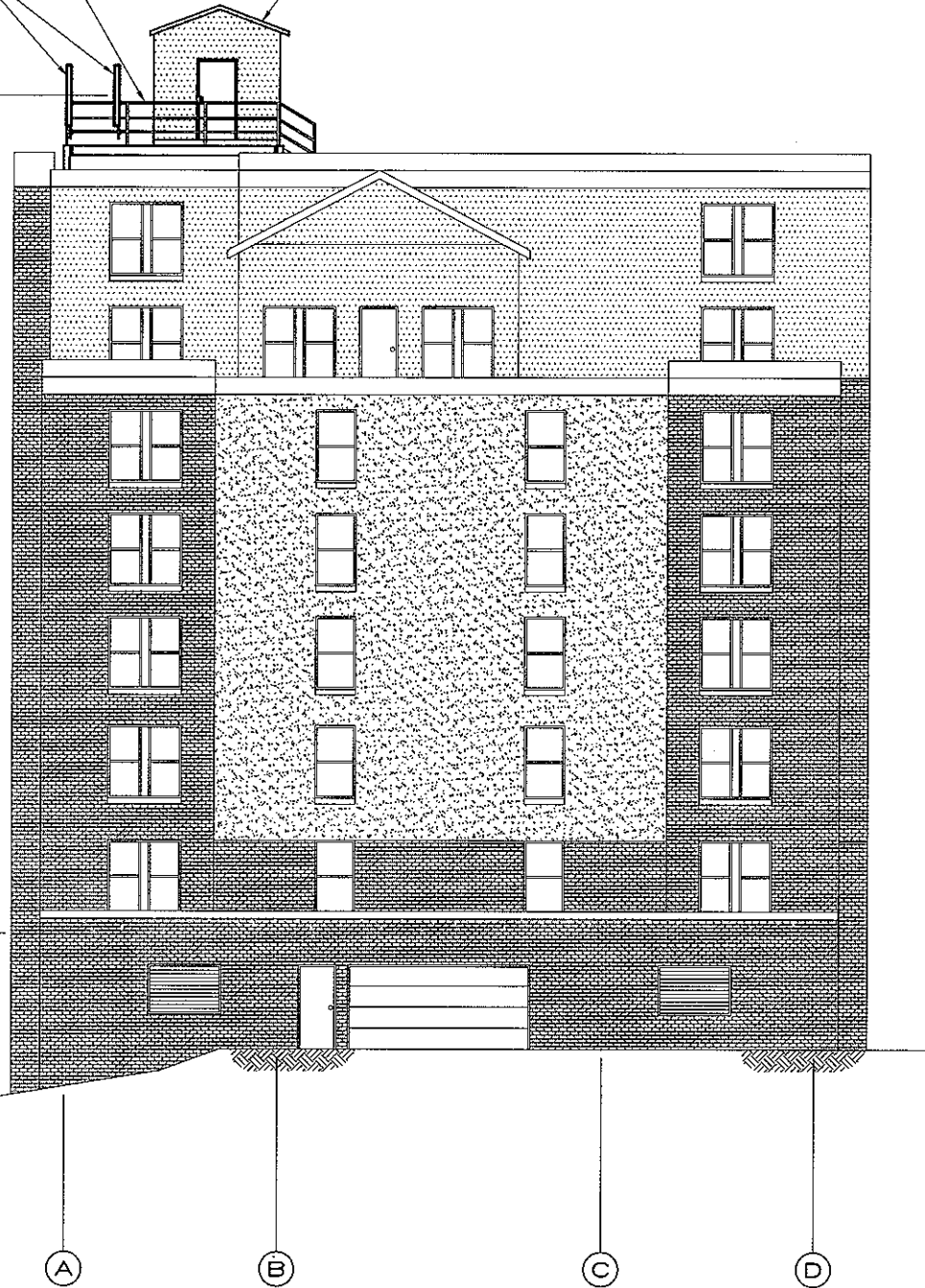
PROPOSED PREMANUF.
HANDRAIL AROUND
GRATED AREA (SEE PLAN)

PROPOSED ANTENNAS
MOUNTED TO HANDRAIL
SEE DETAIL 2/S04

PROPOSED 10'x16' LIGHT
WEIGHT EQUIPMENT SHELTER
ON ROOF TOP STEEL
FRAME. SEE SHEET S03
FOR EXTERIOR OF SHELTER
FINISH. SEE SHEET S01
FOR STEEL FRAMING PLAN.

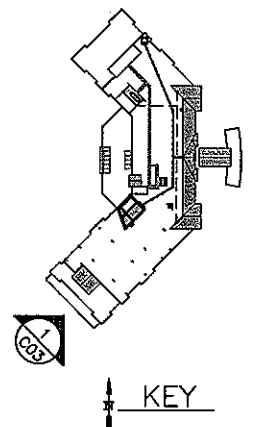
72'± = CENTERLINE OF PROPOSED ANTENNAS

FIRST FLOOR



SOUTHWEST ELEVATION

SCALE: 1/8" = 1'-0" (@22"x34")



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5201 East River Road, Suite 308
Minneapolis, Minnesota 55421
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SITE No. MPLSMN1416
NORTHWESTERN COLLEGE



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BLOOMINGTON, MINNESOTA 55435

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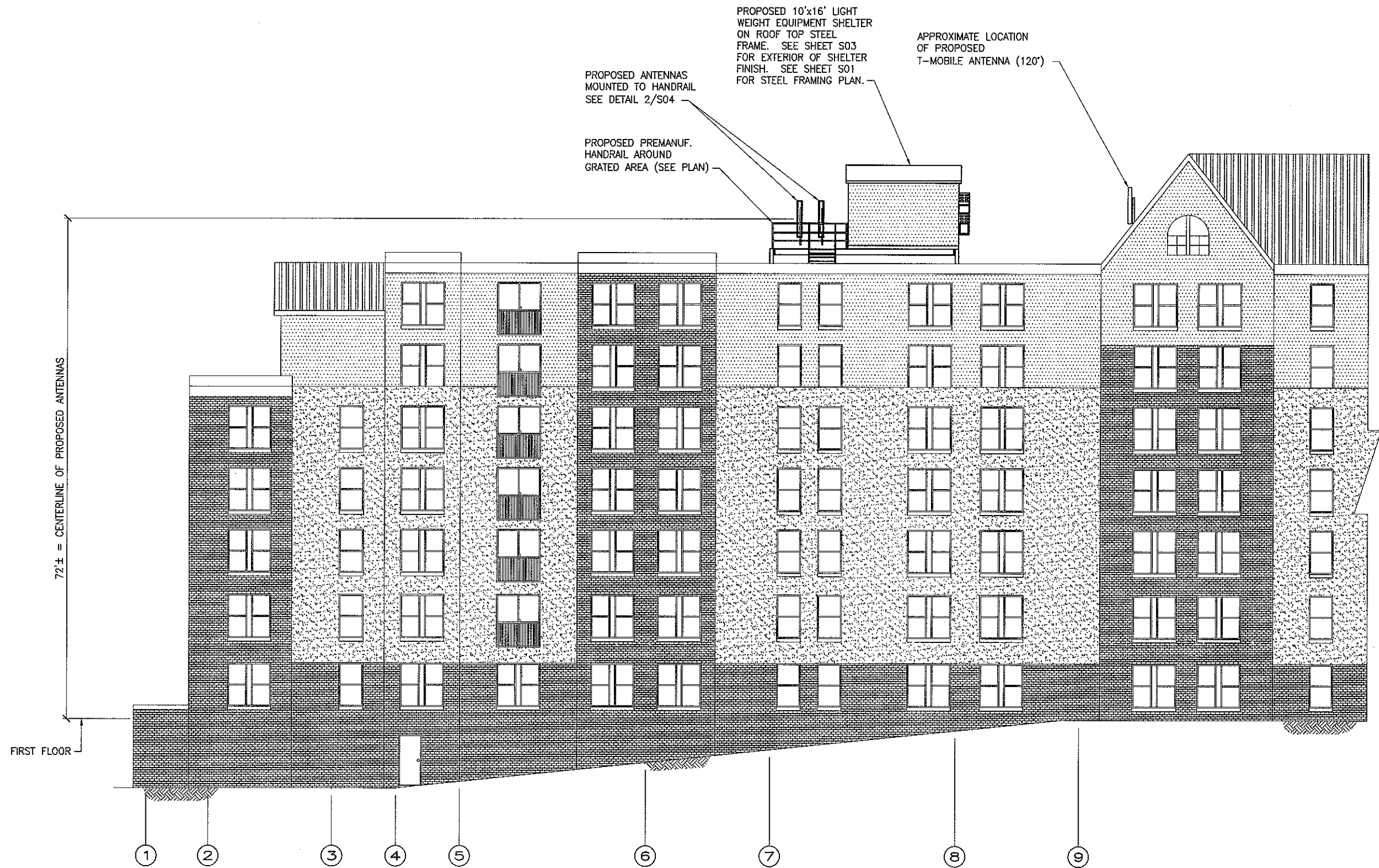
THE SIGNED DRAWING IS THE CORRECT RECORD
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DATE 04/21/09 REG. No. 43119

ROBLEY A. EVANS

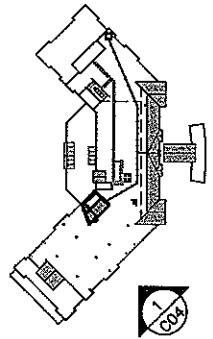
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ELEVATION	C
DRAWING No.	MPLSMN1416-C03



SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0" (@22"x34")

1
C04



KEY

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**SITE No. MPLSMN1416
NORTHWESTERN COLLEGE**



4300 MARKET POINTE DRIVE, SUITE 350
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Robley A. Evans
ROBLEY A. EVANS

DRAWING NAME	
ELEVATION	
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MPLSMN1416-C04	C



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 Minneapolis, Minnesota 55421
 Phone: 763.571.2500 Fax: 763.571.1168
 Email: daniel@ulteig.com
 Website: www.ulteig.com
 Ulteig Job No. 09.00062

**SITE No. MPLSMN1416
 NORTHWESTERN COLLEGE**

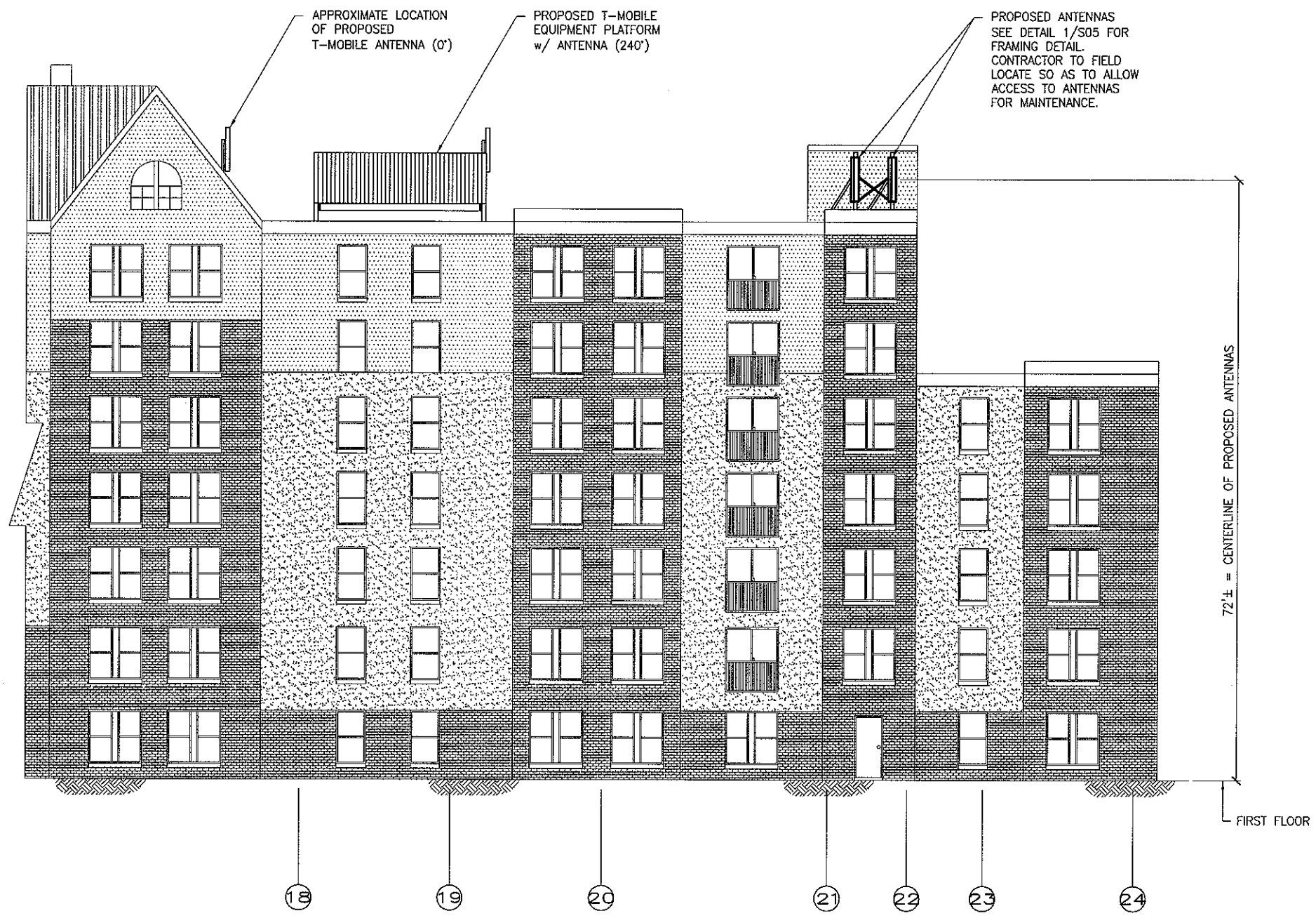


4300 MARKET POINTE DRIVE, SUITE 350
 BLOOMINGTON, MINNESOTA 55435

No.	DATE	REVISIONS	BY	CHK	APP'D
C	04/21/09	PER LANDLORD'S COMMENTS	KBA	KBA	RAE
B	02/27/09	ISSUED FOR REVIEW AND COMMENT	KBA	KBA	RAE
A	02/04/09	ISSUED FOR REVIEW AND COMMENT	KBA	KBA	RAE
SCALE: AS NOTED DESIGNED: RAE DRAWN: KBA					

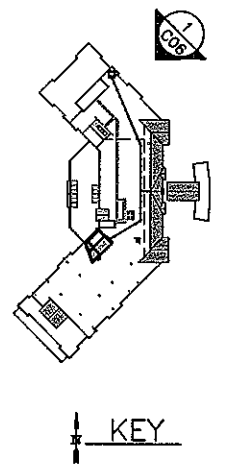
THE SIGNED DRAWING IS THE CORRECT RECORD DOCUMENT. NOT THE AUTOCAD DISKETTE.
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
 DATE: 04/21/09 REG. No. 43119
 ROBLEY A. EVANS

DRAWING NAME	ELEVATION
DRAWING No.	MPLSMN1416-C05
REV	C



NORTHEAST ELEVATION 1
C06

0 4 8 16
SCALE: 1/8" = 1'-0" (@22"x34")



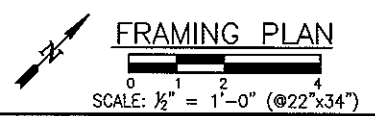
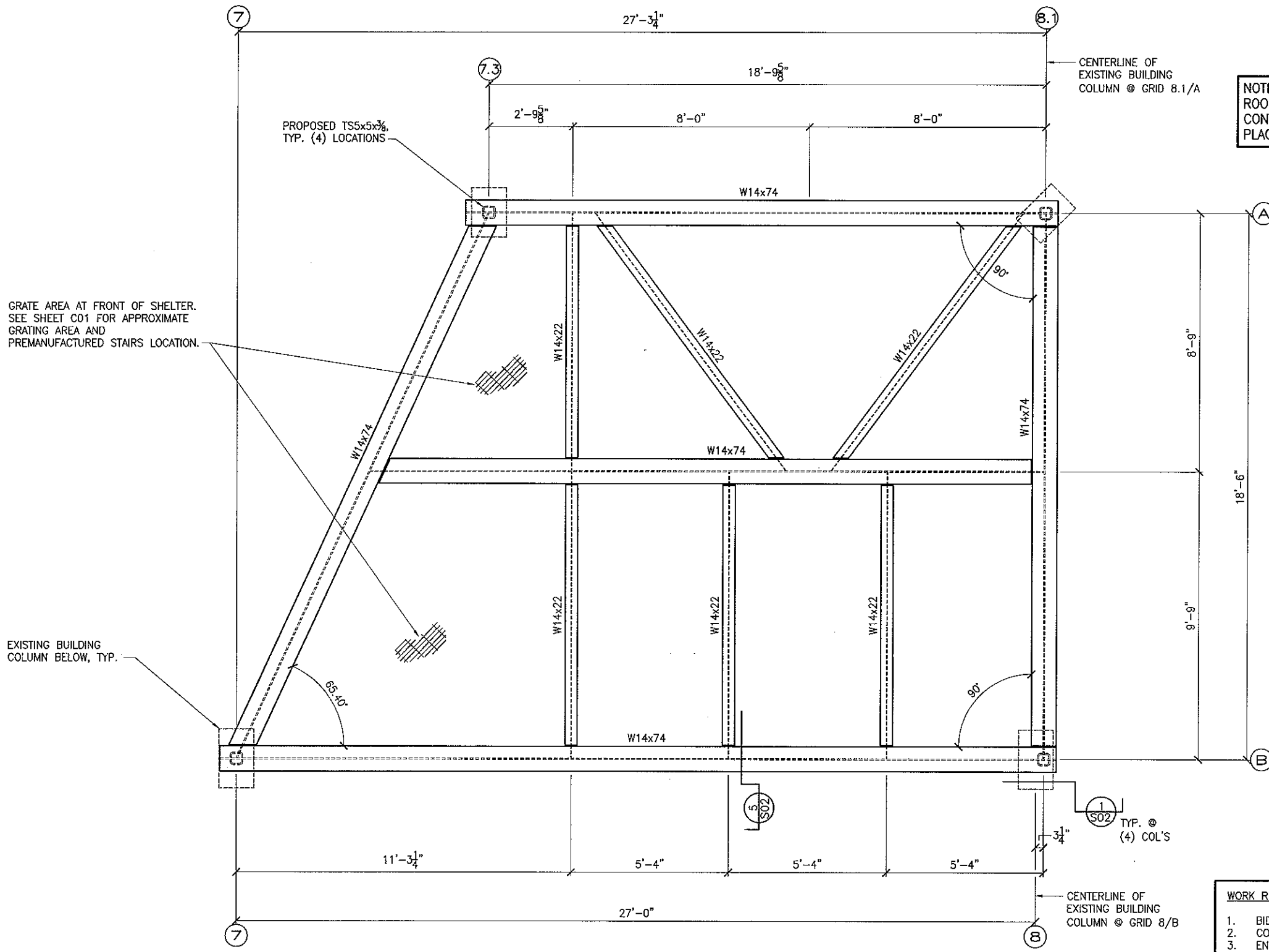
Ulteigengineers
5201 East River Road, Suite 308
Minneapolis, Minnesota 55421
Phone: 763.571.2500 Fax: 763.571.1188
Bernard - Denver - Detroit Lakes - Fargo - Minneapolis - St. Paul
Web: www.ulteig.com
Ulteig Job No. 09.00052

**SITE No. MPLSMN1416
NORTHWESTERN COLLEGE**



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DATE 04/21/09		REG. No. 43119	
ROBLEY A. EVANS			
No.	DATE	REVISIONS	BY CHK APP'D
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SCALE: AS NOTED		DESIGNED: RAE	DRAWN: KBA

DRAWING NAME	
ELEVATION	
DRAWING No.	REV
MPLSMN1416-C06	C

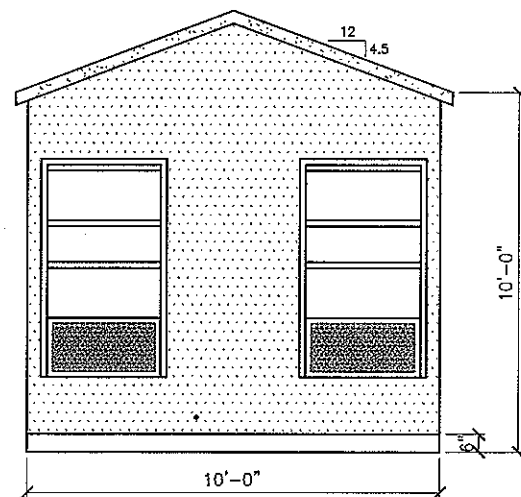


NOTE: FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

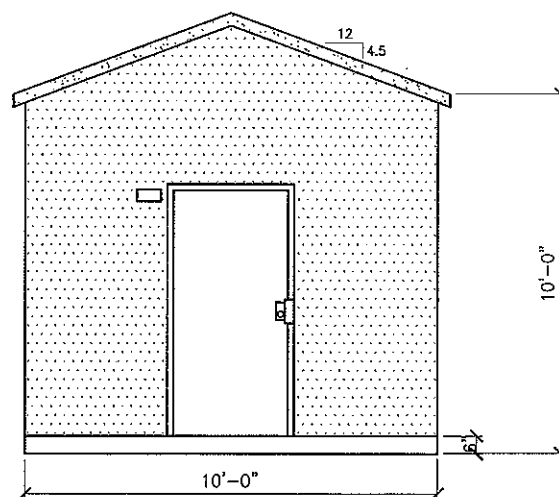
NOTE:
ROOF CONTAINS POST TENSIONING.
CONTRACTOR SHALL VERIFY
PLACEMENT.

- WORK REQUIREMENTS AND SEQUENCE FROM CONTRACTOR**
1. BID AWARDED
 2. CONTRACTOR SHALL PREPARE SHOP DRAWINGS FOR REVIEW
 3. ENGINEER TO REVIEW SHOP DRAWINGS
 4. ALL UNKNOWN CONDITIONS VERIFIED BY CONTRACTOR AND ENGINEER (IF REQ'D)
 5. SHOP DRAWINGS MODIFIED TO ACCOUNT FOR UNKNOWN CONDITIONS
 6. FABRICATION COMPLETED ON STEEL FRAME

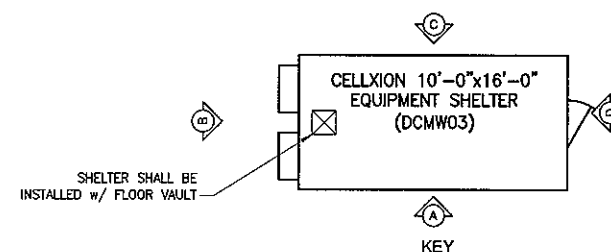
Ulteig engineers 5201 East River Road Suite 308 Minneapolis, Minnesota 55421 Phone: 763.571.2500 Fax: 763.571.1189 Slovak - Denver - Detroit Lakes - Fargo - Minneapolis - Sioux Falls Web: www.ulteig.com Ulteig Job No. 09.00002	SITE No. MPLSMN1416 NORTHWESTERN COLLEGE	4300 MARKET POINTE DRIVE, SUITE 350 BLOOMINGTON, MINNESOTA 55435	THE SIGNED DRAWING IS THE CORRECT RECORD DOCUMENT, NOT THE AUTOCAD DISKETTE.		DRAWING NAME	
			I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA		STEEL FRAMING PLAN	
			DATE: 04/21/09 REG. No. 43119		DRAWING No. MPLSMN1416-S01	
			DESIGNED: RAE DRAWN: KBA		REV C	



LIGHT WEIGHT EQUIPMENT SHELTER ELEVATION "B"
N.T.S.

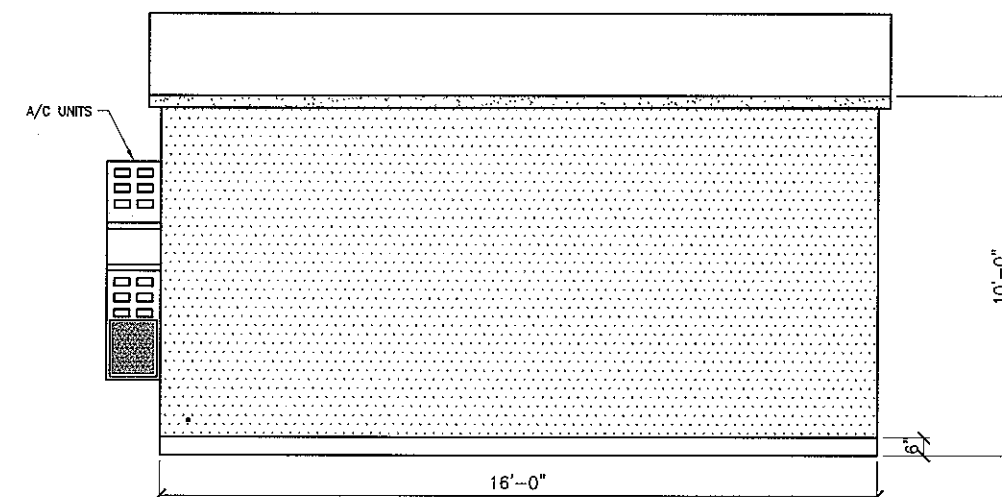


LIGHT WEIGHT EQUIPMENT SHELTER ELEVATION "D"
N.T.S.

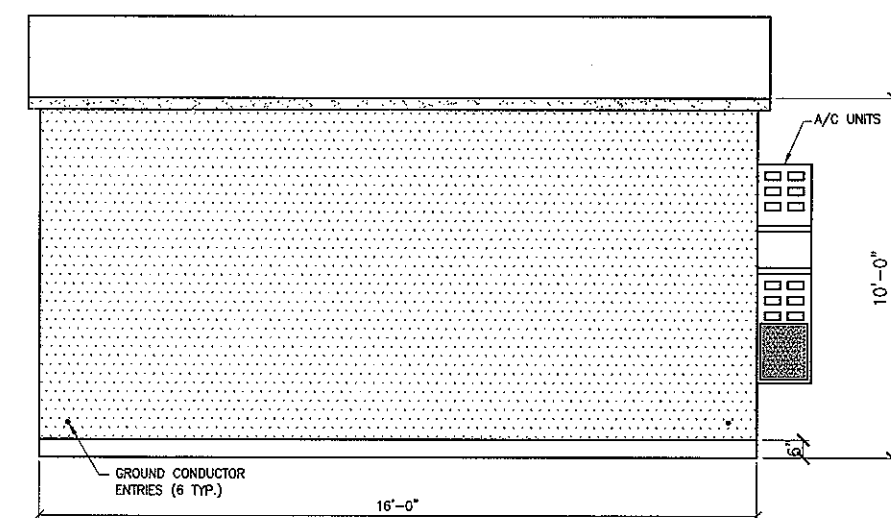


SHELTER FINISH SHALL BE QUARZPUTZ
TEXTURE AND COLOR SHALL BE DRYVIT
COLOR #310 CHINA WHITE. SHELTER
TRIM FINISH SHALL BE QUARZPUTZ AND
COLOR SHALL BE DRYVIT COLOR #105
SUEDE. SHELTER ROOF COLOR SHALL BE
SW 6447 EVERGREENS (SHERWIN-WILLIAMS).

MAXIMUM SHELTER DESIGN LOADS
SHELTER WEIGHT = 16,000 LBS
FLOOR LIVE LOAD = 237 PSF
ROOF LIVE LOAD = 40 PSF
ROOF SNOW LOAD = 35 PSF



LIGHT WEIGHT EQUIPMENT SHELTER ELEVATION "A"
N.T.S.



LIGHT WEIGHT EQUIPMENT SHELTER ELEVATION "C"
N.T.S.

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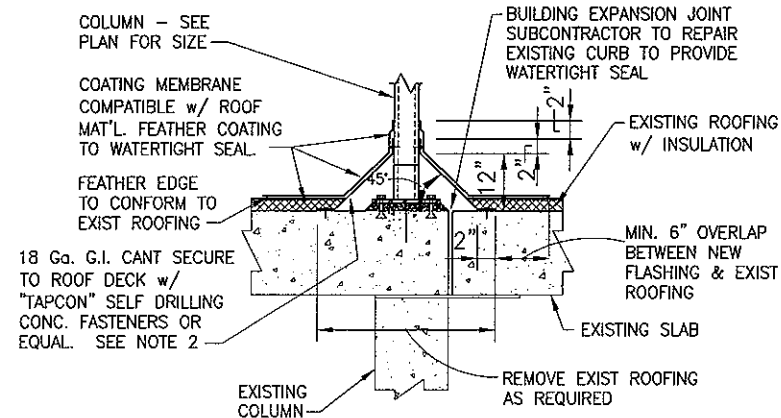
**SITE No. MPLSMN1416
NORTHWESTERN COLLEGE**



4300 MARKET POINTE DRIVE, SUITE 350
BLOOMINGTON, MINNESOTA 55435

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SCALE: AS NOTED DESIGNED: RAE DRAWN: KBA					

DRAWING NAME	
SHELTER ELEVATIONS	
DRAWING No.	REV
MPLSMN1416-S03	C

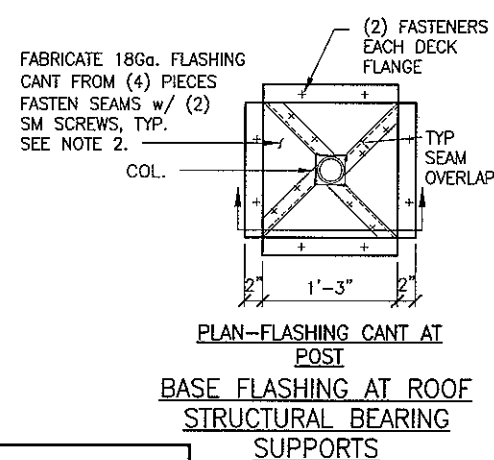


DETAIL

TYP. (4) PLACES

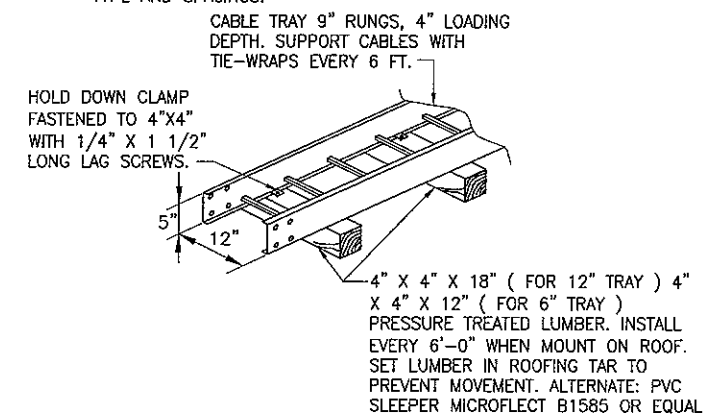
1
S04

NOTE:
ALL ROOF PENETRATIONS WILL REQUIRE APPROVAL BY A THIRD PARTY ROOFING CONSULTANT.



- NOTES:
1. SUBCONTRACTOR SHALL CONTACT OWNER TO DETERMINE IF ROOF WARRANTY EXISTS. IF WARRANTY EXISTS, ALL ROOF PENETRATIONS SHALL BE BY METHODS APPROVED BY ROOFING COMPANY TO MAINTAIN ANY EXISTING WARRANTIES. IF WARRANTY DOES NOT EXIST, ROOF PENETRATIONS MEANS AND METHOD SHALL BE AS SHOWN ON THE DRAWING OR APPROVED BY ENGINEER.
 2. MANUFACTURED EDPM OR NEOPRENE, FLEXIBLE, FLASHING COLLARS MAY BE INSTALLED IN LIEU OF GALV. IRON CANT AND MEMBRANE. USE ONLY WHERE EXISTING ROOFING MATERIAL IS COMPATIBLE. (e.g. RETROFIT FLASHING BY PORTALS PLUS, INC.)

NOTE:
WHEN CABLE TRAY COVERS ARE SPECIFIED, THEY SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION PROCEDURES AND INSTRUCTIONS FOR 'HIGH WIND CONDITIONS'. THIS INCLUDES CONNECTOR TYPE AND SPACINGS.



OPTION: USE MICROFLECT ROOF MOUNTED BRIDGE KITS CONSISTING OF SLEEPER AND COVER.

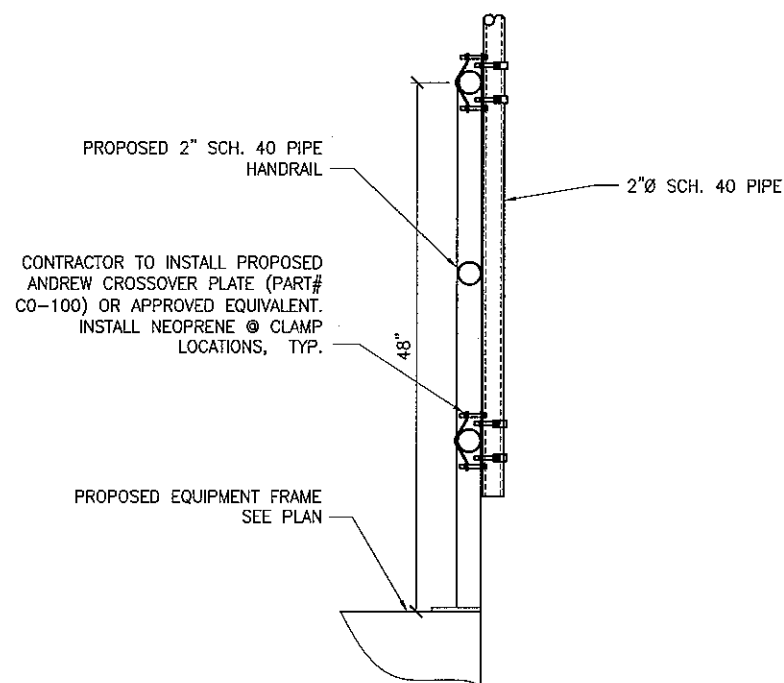
ROOF MOUNTED CABLE TRAY

DETAIL

NTS

552
S04

RF NOTE:
RF SAFETY SIGNAGE SHOULD BE INSTALLED PER THE DIRECTION OF THE AT&T RF ENGINEERING DEPT.



DETAIL

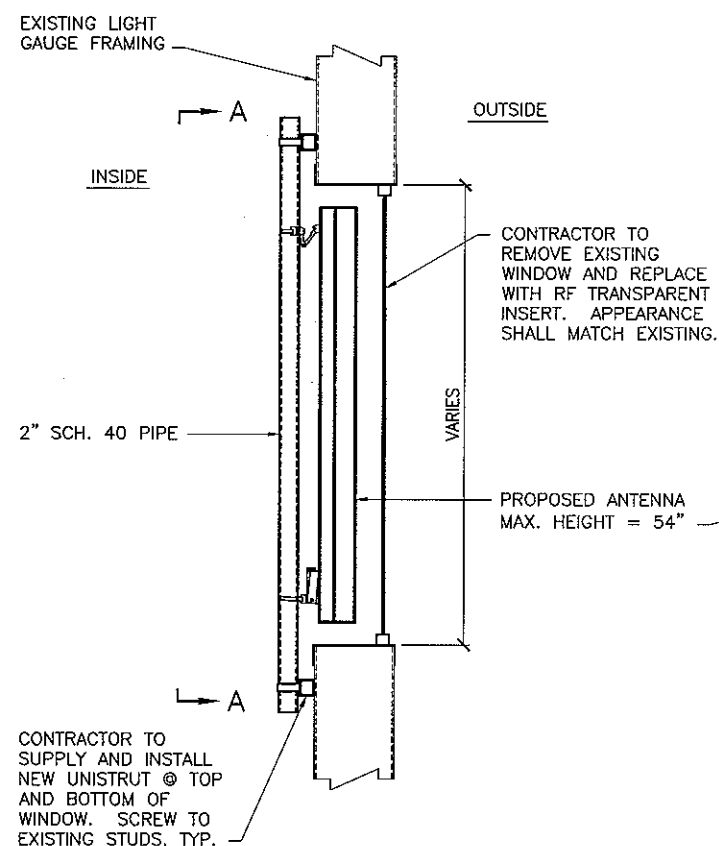
TYP. (2) PLACES

2
S04

SECTION

@ ENTRY INTO PENTHOUSE

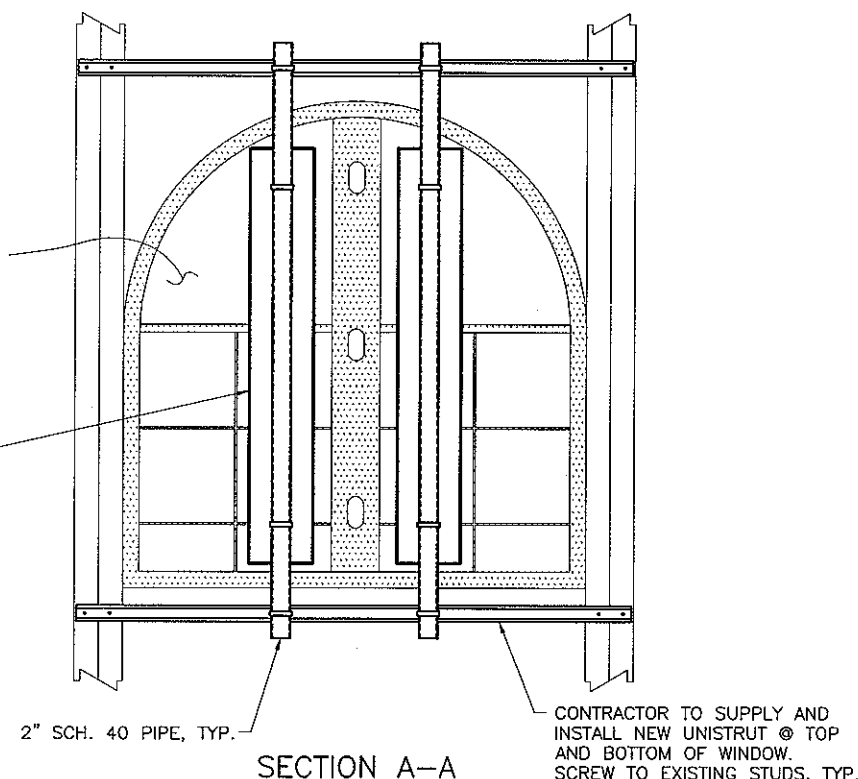
3
S04



DETAIL

@ ANTENNAS IN PENTHOUSE

4
S04



Ulteigengineers

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Minneapolis, Minnesota 55421
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Remark: Denver - Detroit Lakes - Fargo - Minneapolis - St. Paul
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Ulteig Job No. 09.00062

SITE No. MPLSMN1416
NORTHWESTERN COLLEGE



4300 MARKET POINTE DRIVE, SUITE 350
BLOOMINGTON, MINNESOTA 55435

REVISIONS		BY	CHK	APP'D
C	04/21/09	PER LANDLORD'S COMMENTS	KBA	KBA RAE
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No.	DATE	REVISIONS		
SCALE: AS NOTED		DESIGNED: RAE	DRAWN: KBA	

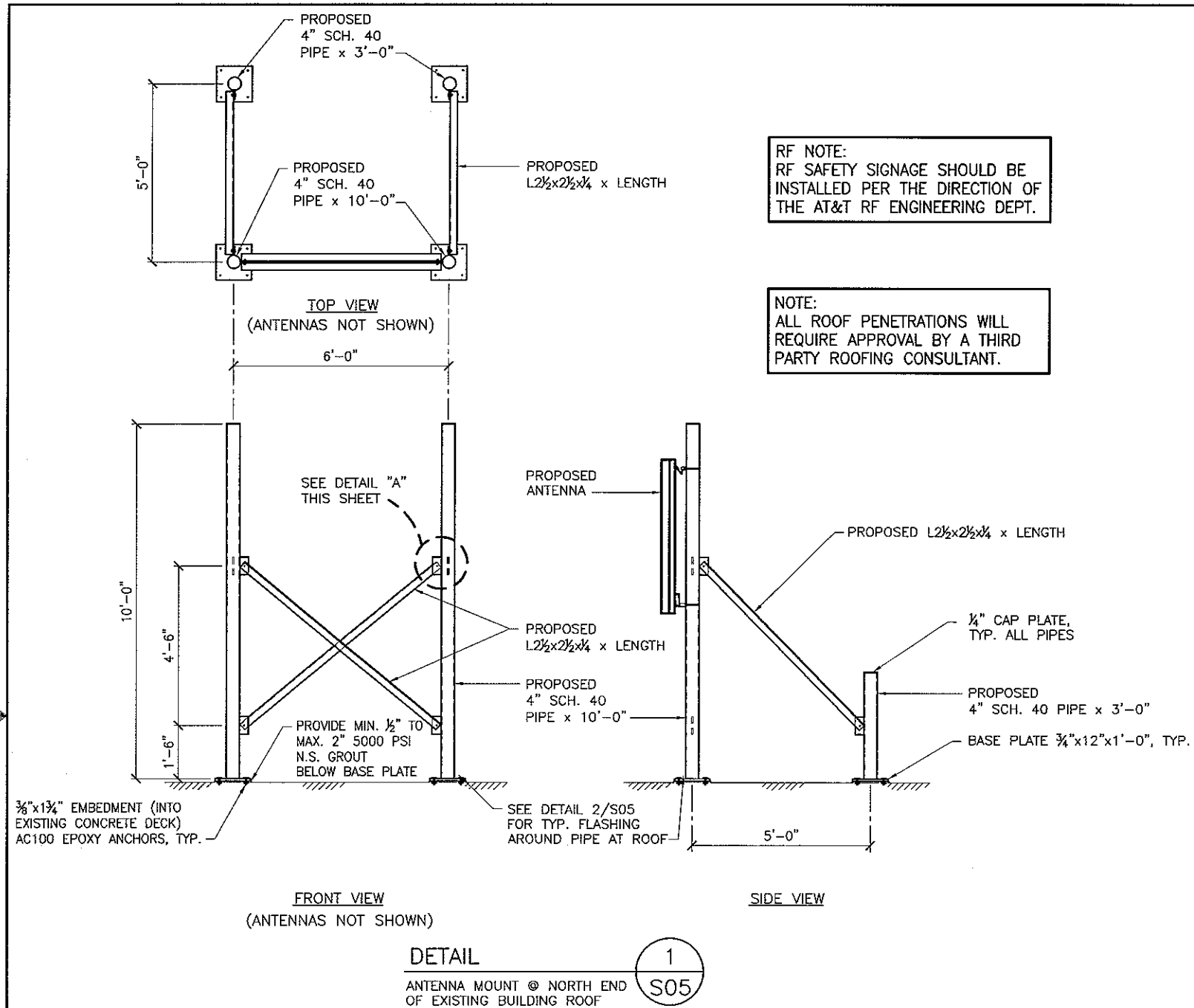
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DATE: 04/21/09 REG. No. 43119

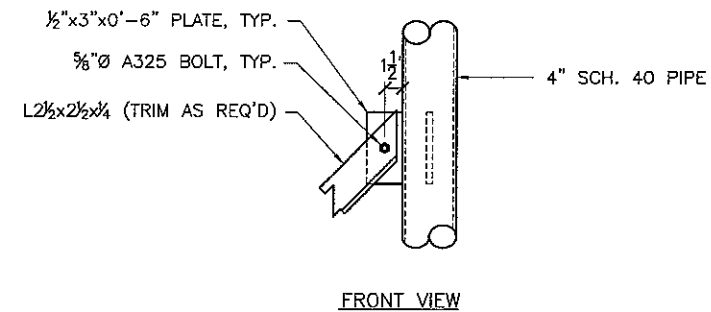
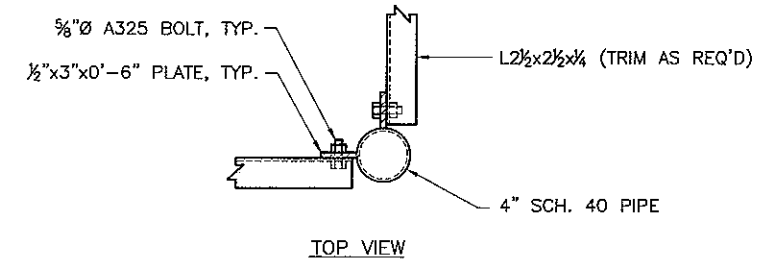
Robley A. Evans

CONSTRUCTION DETAILS	
DRAWING No.	MPLSMN1416-S04
REV	C



RF NOTE:
 RF SAFETY SIGNAGE SHOULD BE
 INSTALLED PER THE DIRECTION OF
 THE AT&T RF ENGINEERING DEPT.

NOTE:
 ALL ROOF PENETRATIONS WILL
 REQUIRE APPROVAL BY A THIRD
 PARTY ROOFING CONSULTANT.



DETAIL A
 TYP. DIAGONAL CONNECTION
S05

NOTES:

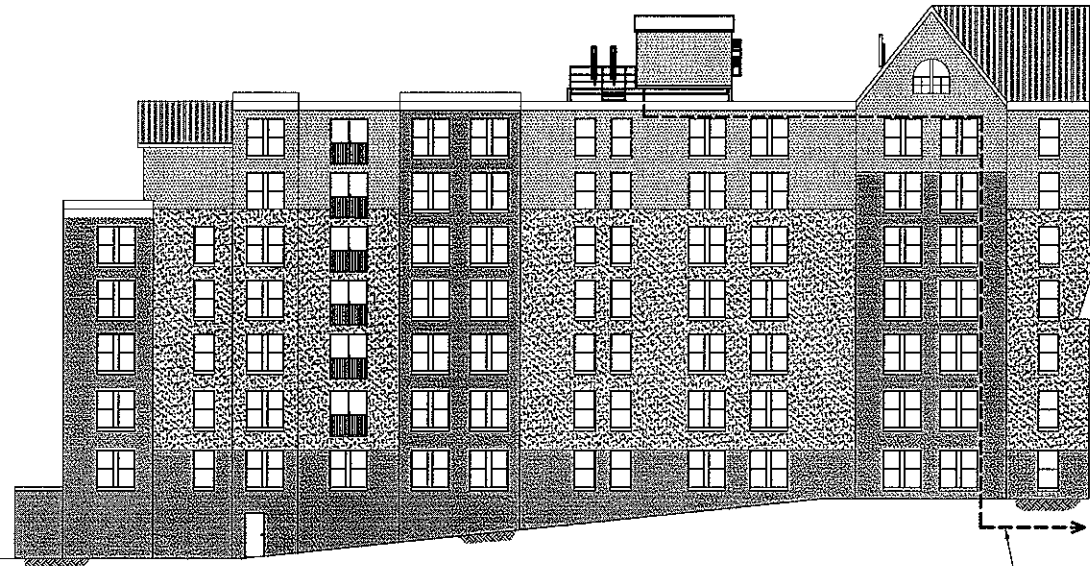
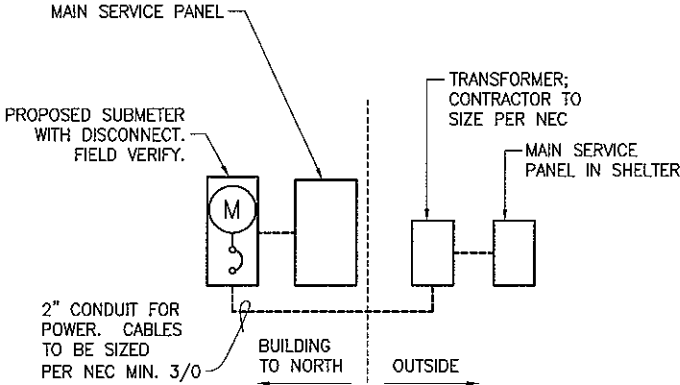
1. SUBCONTRACTOR SHALL PROVIDE 200AMP, SINGLE PHASE, 120/240 VAC, 60HZ SERVICE FOR AWS SITE. (SEE SINGLE LINE DIAGRAM)
2. SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE THE START OF CONSTRUCTION. POWER AND TELEPHONE CONDUIT SHALL BE PROVIDED AND INSTALLED PER UTILITY REQUIREMENTS.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
4. ALL SERVICE EQUIPMENT AND INSTALLATIONS SHALL COMPLY WITH THE N.E.C. AND UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
5. SUBCONTRACTOR SHALL INSTALL SUFFICIENT LENGTHS OF LIQUID-TITE FLEX (LFMC) INCLUDING ALL CONDUIT FITTINGS (NUTS, REDUCING BUSHINGS, ELBOWS, COUPLING, ETC) NECESSARY FOR CONNECTION FROM THE NEMA BOX TO THE INTERIOR BTS CABINET.
6. SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN THE AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
7. POWER, CONTROL AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG AND LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED.
8. CUT, COIL AND TAPE A 3 FOOT PIGTAIL FROM END OF LFMC FOR TERMINATING BY BTS EQUIPMENT MANUFACTURER.
9. SUB CONTRACTOR WILL VERIFY HIGH LEG IN 208/120 VAC PANEL, AND WILL NOT CONNECT 2 POLE BREAKER TO HIGH LEG.
10. PANEL "A" SHALL BE CLEARLY MARKED ON THE OUTSIDE OF THE CABINET.

LEGEND:

RU - RELAY TO MONITOR UTILITY POWER

NOTES:

1. ALL WIRE COLORS FOR #6 AND LARGER THAT IS EXPOSED SHALL BE MARKED AT 40" INTERVALS MAX.
2. GROUNDING BUSHINGS MUST USE THE SAME SIZE OR LARGER GROUND WIRE AS ON SERVICE ENTRANCE, OR LARGEST SIZE ACCEPTED BY BUSHING.
3. ALL WIRE (UNLESS NOTED OTHERWISE) IS TO BE:
 - * #12 AWG.
 - * STRANDED.
 - * THHN INDOOR & THWN OUTDOOR.
 - * TFFN FOR HALON SYSTEM CONTROL WIRING.
 - * SOLID, FOR THERMOSTAT AND ALARM WIRING (22 GA MIN.).
4. ALL NEUTRAL WIRING TO BE WHITE UNLESS OTHERWISE NOTED. ALL GROUND WIRING TO BE GREEN UNLESS OTHERWISE NOTED. ALL PHASE CONDUCTORS SHALL MATCH EXISTING PANEL COLOR SCHEME.
5. CONDUIT TO BE EMT OR RIGID UNLESS NOTED. MINIMUM SIZE OF CONDUIT AND FITTINGS IS 1/2" OR AS NOTED. UPSIZING IS PERMITTED. LAYOUT LOCATIONS ARE FOR REFERENCE ONLY AND MAY VARY UNLESS NOTED OTHERWISE.
6. ALL BOXES, LIGHT FIXTURES AND ELECTRICAL EQUIPMENT TO BE +/- 3" UNLESS OTHERWISE NOTED. BOXES OR RECEPTACLES 6"x6" OR SMALLER SHALL NOT BE INSTALLED ON PANELLING TRIM.
7. ALL ALARM WIRING INSTALLED IS ASSUMED TO BE CLASS II WIRING PER NEC 725 UNLESS OTHERWISE SPECIFIED BY THE CUSTOMER AND NOTED ON THESE DRAWINGS.
8. PULL CIRCUITS TO END OF WIREWAY. COIL 15'-0" SPARE AND TAG.
9. FOLLOW EQUIPMENT MANUFACTURER'S OVERCURRENT PROTECTION DEVICE RATING RECOMMENDATION.



PARTIAL ELEVATION

ROUTE POWER, TELCO AND GROUND TO STACKED UTILITY CLOSET. CORE DRILL THROUGH CLOSETS TO PARKING GARAGE AND ROUTE TO THE NORTH TO ADJACENT BUILDING.

Ulteigengineers

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Ulteig Job No. 09-00062

SITE No. MPLSMN1416
NORTHWESTERN COLLEGE

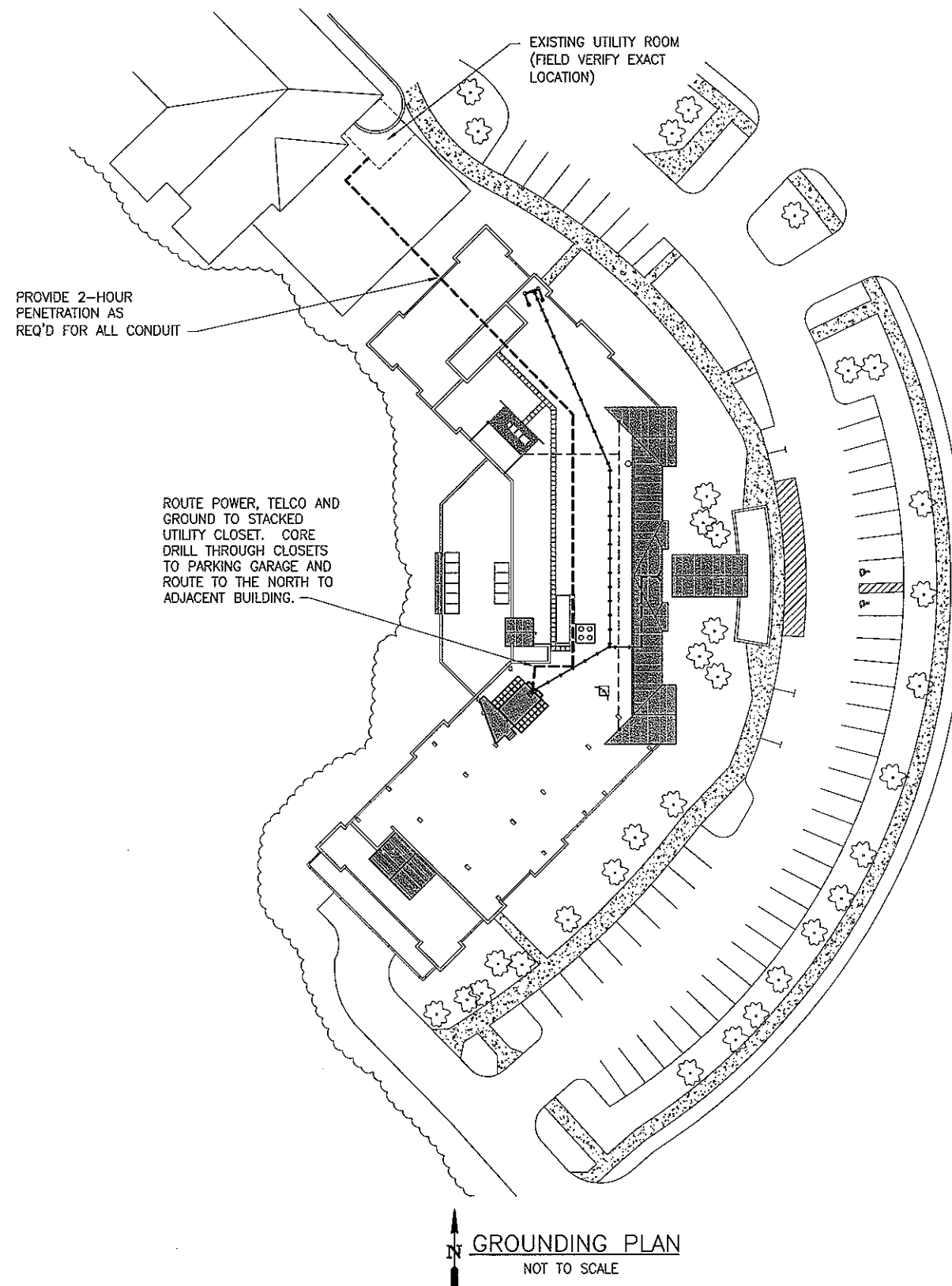


4300 MARKET POINTE DRIVE, SUITE 350
BLOOMINGTON, MINNESOTA 55435

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SCALE: AS NOTED DESIGNED: RAE DRAWN: KBA					

FOR SCHEMATIC PURPOSES ONLY. FINAL DESIGN TO BE DETERMINED BY CONTRACTOR

DRAWING NAME	
SINGLE LINE DIAGRAM & RISER DIAGRAM	
DRAWING No.	REV
MPLSMN1416-E02	C



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**SITE No. MPLSMN1416
 NORTHWESTERN COLLEGE**



4300 MARKET POINTE DRIVE, SUITE 350
 BLOOMINGTON, MINNESOTA 55435

No.	DATE	REVISIONS	BY	CHK	APP'D
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A	02/04/09	ISSUED FOR REVIEW AND COMMENT	KBA	KBA	RDN
SCALE: AS NOTED DESIGNED: RAE DRAWN: KBA					

FOR SCHEMATIC PURPOSES
 ONLY. FINAL DESIGN TO BE
 DETERMINED BY CONTRACTOR

DRAWING NAME	
GROUNDING & ELECTRICAL PLAN	
DRAWING No.	REV
MPLSMN1416-E03	C



View Type: Original Photograph
Site Address: 2925 Lincoln Drive
City: Roseville **State:** MN
Site Number: MPLSMN1416
View Description: West Elevation.



View Type: Simulated Photograph
Site Address: 2925 Lincoln Drive
City: Roseville **State:** MN
Site Number: MPLSMN1416
View Description: West Elevation.

Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.



May 26, 1993

Paul Sentman
2045 Shorewood Lane
Mound, MN 55364

Dear Mr. Sentman:

The Roseville City Council, at its May 24, 1993 meeting, approved your request for Comprehensive Plan Amendment from Business and Medium Density Residential to Business, High Density Residential and Institutional, rezoning from B-3, B-2, and R-1 to PUD, approval of a Planned Unit Development General Concept Plan, approval of street vacation, and approval of preliminary plat with the following conditions:

1. That the right-of-way for the extension of Lincoln Drive through the site be dedicated in exchange for the City deeding the former Snelling Avenue frontage road right-of-way to the owners.
2. That a 20 foot light rail transit easement in favor of Ramsey County be reserved as shown on the plat adjacent to Snelling Avenue.
3. That the Public Works Department approve all final utility and grading plans.
4. That the landscape plan, including landscaping in adjacent neighbors' yards, be reviewed and approved by City staff after an analysis of utility conflicts.
5. That City staff review and approve lighting and signage plans.
6. That the new public street be named Lincoln Drive, not South Campus Drive.
7. That additional landscaping be provided at the rear of the Assisted Living building and on the north side of the loading dock area, to be reviewed and approved by City staff.
8. That the motel site plan be approved only if there is agreement in writing from the owners of Benjamin's on the common access driveway. Otherwise the plans must be modified to accommodate all access and required parking on the motel site with proper setbacks.

9. That a permit be obtained from Rice Creek Watershed District for the drainage plan.
10. That the final plans for the 36-unit future phase of senior housing in the northwest corner of the site be designed essentially as shown on the PUD site plan. This means that the use will be for senior housing with some assisted care provided, that there will be adequate parking in the location shown, that the building will be one story and essentially of the size and location shown, and that the design and architectural character of the building be compatible with the other two new buildings. Compliance with these issues shall be determined by the City Development Review Committee. If the Development Review Committee believes that the design does not fit within these guidelines, this portion of the project will be referred to the Planning Commission and City Council for an amendment to the PUD.
11. That the final plans for the future College Building in the northeast corner of the site be designed essentially as shown on the PUD site plan. This means that the use will be for college-related functions for Northwestern College, which might include classrooms, faculty and administrative offices, adult education, radio studio (but not a tower or antenna), student services, or similar uses. It means that there will be adequate parking for the uses on site above and beyond the parking needed for the adjacent student housing. If this parking is provided in a parking deck or ramp, the structure will meet all applicable setbacks and will be constructed of high quality materials compatible with the design of the other buildings in the PUD, and will be adequately landscaped on all sides, especially toward Snelling Avenue. Compliance with these issues shall be determined by the City Development Review Committee. If the Development Review Committee believes that the design does not fit within these guidelines, this portion of the project will be referred to the Planning Commission and City Council for an amendment to the PUD.
12. That ownership of the Simpson parcel be finalized before any final approvals are given for the PUD that might affect that property. A plan for interim use of the parcel should be developed and reviewed by staff.
13. That as much vegetation as possible along the creek be left intact.

14. That the possibility of installing stop signs on Lincoln Drive at the entrance to the independent living facility be studied.
15. That staff review traffic count methodology.
16. That the ponds be maintained by applicant and designed to meet Metropolitan Council recommended standards. Staff should review and recommend a maintenance schedule if appropriate.
17. That the applicant be encouraged to increase evergreen materials.
18. That there be strong architectural continuity for the entire project. Staff should review all future development to insure that continuity is maintained.
19. That the final exterior materials and colors be submitted for Council consideration as part of the final development plan.
20. That progress be demonstrated on correction to the soil erosion problems adjacent to the main campus as part of the final PUD plan approval.
21. That the approvals are contingent upon submittal of the comprehensive plan amendment to the Metropolitan Council.
22. That the final development plan be consistent with the plans submitted to the City Council which includes the revised independent living building with a total height of 69 feet and 132 dwelling units.

The City Council also authorized staff to negotiate a Development Agreement concerning the use of TIF funds which include the following:

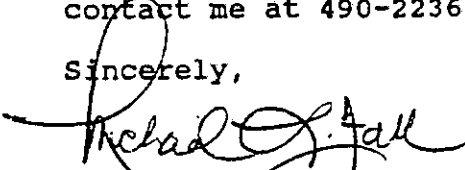
1. That there be a pay-as-you-go deal with no up front City funding.
2. That the developer will reimburse the City for any LGA and HACA penalties.
3. That the property will remain taxable for a minimum of forty (40) years.
4. That the length of tax increment assistance will not exceed fifteen (15) years.

5. That the annual amount of funds paid to the developer will not exceed \$500,615. Any amount of tax increment available over that amount will be retained by the City for use of other eligible tax increment projects as allowed by State statutes.
6. That the full taxable development will be complete by October 15, 1995 to have full taxable value on January 1, 1996 for taxes payable in 1997.
7. That the development be constructed in accordance with the approved final PUD plan.

The hearing for the final plat and final PUD plan has been scheduled for Tuesday, June 29, 1993.

If you should have any questions, please don't hesitate to contact me at 490-2236.

Sincerely,



Michael Falk
City Planner
City of Roseville

:cf



July 14, 1993

Paul Sentman
2045 Shorewood Lane
Mound, MN 55364

Dear Mr. Sentman:

The Roseville City Council, at its July 12, 1993 meeting, approved your request for final PUD plan and final plat approval at Snelling Avenue and Lydia Avenue with the following conditions:

1. That the Public Works Department approve all final utility and grading plans.
2. That the landscape plan, including landscaping in adjacent neighbor yards, be reviewed and approved by City staff after analysis of utility conflicts.
3. That City staff review final signage plans. A final design and location of those signs should be submitted for review, and all free standing signs should have a minimum of a 15 foot setback.
4. That a permit be obtained from Rice Creek Watershed District for the drainage plan. This permit should be received prior to the issuance of any City building permits.
5. That the final plans for the 36 unit future phase of senior housing in the northwest corner of the site be designed as shown on the final PUD site plan. This means that the use will be for senior housing with some assisted care provided.

There should be adequate parking in the location shown. The building will be on estory and essentially the size and location shown, and the design and architectural character of the buildings shall be compatible with the other two new buildings.

6. That the final plans for the future college building in the northeast corner be designed essentially as shown on the final PUD site plan. This means that the use will be for college related functions for Northwestern College, which might include classrooms, faculty and administrative offices, adult education, radio station (but not a tower or antenna), student services, or similar uses.

There will be adequate parking for the uses of the site above and beyond the parking needed for the adjacent student housing. If this parking is provided in a parking deck or ramp, the structure will meet all applicable setbacks and will be constructed of high quality materials compatible with the design of the other buildings in the PUD, and will be adequately landscaped on all sides, especially toward Snelling Avenue.

Compliance with these issues will be determined by the City Development Review Committee. If the Development Review Committee believes that the design does not fit within these guidelines, this portion of the project will be referred to the Planning Commission for an amendment to the PUD.

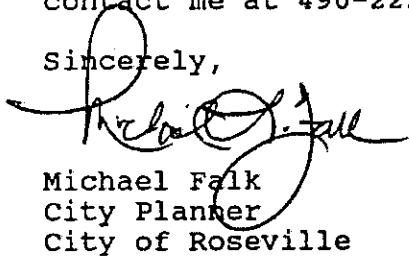
7. That no building permits be issued for the project until after a closing occurs on the Simpson parcel. There shall be no use of the site other than the existing auto sales leasing use or the future new college building without prior approval of the City Council.
8. That the ponds be maintained by the applicant, designed to meet Metropolitan Council recommended standards. The City will maintain the pipes leading to the ponds, and College Properties, Inc. will be responsible for mowing and other aesthetic maintenance of the ponds.
9. That the exterior materials of the motel be changed to include brick, in a similar fashion to the independent living building, such that there would be brick all around the lower level and extended up to the roof at key massing.
10. That the approvals are contingent upon submittal and approval of a Comprehensive Plan Amendment to the Metropolitan Council.
11. That the independent living building be constructed as shown on the approved plan, with the height of the flat portions of the roof not exceeding 66 feet, the mansard style roof not exceeding 76 feet in height, and the pitched roofs covering stairwells and elevator penthouses not exceed 82 feet in height.
12. That College Properties, Inc. dedicate a new frontage road.

13. That College Properties, Inc. grant a 50 foot easement to County Ditch 4.
14. That progress be demonstrated on correction to the soil erosion problems adjacent to the main campus as part of the final PUD approval.

The City Council also authorized the execution of a Development Agreement subject to final review by City staff and the City Attorney.

If you should have any questions, please don't hesitate to contact me at 490-2236.

Sincerely,



Michael Falk
City Planner
City of Roseville

:cf

PLANNING FILE 09-008**Request by AT & T (with Presbyterian Homes) for approval of a PLANNED UNIT DEVELOPMENT AMENDMENT to allow the installation of cellular antennae on top of the Eagle Crest residential building at 2925 Lincoln Drive**

Vice Chair Boerigter opened the Public Hearing for Planning File 09-008.

City Planner Thomas Paschke provided staff's analysis of the request of AT & T Mobility (in cooperation with Eagle Crest Senior Housing LLC) for a PLANNED UNIT DEVELOPMENT AMENDMENT to allow installation of three (3) telecommunication antennas and an equipment shelter on the roof of the Eagle Crest building at 2925 Lincoln Drive.

Mr. Paschke noted that in April, T-Mobile sought and received the Planning Commission's recommendation for support of three (3) antennae and an equipment platform on the same building, also approved as a Planned Unit Development (PUD) Amendment.

Mr. Paschke noted that this proposal calls for three (3) pair of antennae to be installed for a total of six (6); and that the equipment necessary for operation of the site included a ten by sixteen foot (10' x 16') light-weight shelter, ten feet (10') in height and located on the back roof portion in a symmetrical fashion to the proposed T-mobile equipment platform. Mr. Paschke advised that the shelter would be painted to match the proposed T-Mobile screen wall and have a gabled roof.

Staff recommended APPROVAL of the request of AT & T Mobility (in cooperation with Eagle Crest Senior Housing LLC) for a PLANNED UNIT DEVELOPMENT AMENDMENT to allow installation of three (3) telecommunication antennas and an equipment shelter on the roof of the Eagle Crest building at 2925 Lincoln Drive; based on the comments of Sections 4 and 5 and the conditions detailed in Section 6 of the project report dated May 06, 2009.

Applicant, Mark Hemstreet – Buell Consulting, Inc., Authorized Representative of AT & T

Mr. Hemstreet concurred with Mr. Paschke's summary; and that it was the intent to match paint to the building's siding and gabled roof to match, as well as the equipment of T-Mobile.

Public Comment

No one appeared to speak for or against.

Vice Chair Boerigter closed the Public Hearing at this time.

MOTION

Member Boerigter moved, seconded by Member Best to RECOMMEND TO THE CITY COUNCIL APPROVAL of a PLANANED UNIT DEVELOPMENT (PUD) AMENDMENT AT & T Mobility (in cooperation with Eagle Crest Senior Housing LLC) to allow installation of three (3) pair of telecommunication antennas and an equipment shelter on the roof of the Eagle Crest building at 2925 Lincoln Drive; based on the comments of Section 4-6 and the conditions detailed in Section 6 of the project report dated May 06, 2009.

Ayes: 6

Nays: 0

Motion carried.

Vice Chair Boerigter noted that the case was scheduled to be heard by the City Council at their May 18, 2009 meeting.

EXTRACT OF MINUTES OF MEETING OF THE CITY COUNCIL OF THE CITY OF ROSEVILLE

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota, was held on the 18th day of May 2009, at 6:00 p.m.

The following members were present:

and the following Members absent;

Council Member _____ introduced the following resolution and moved its adoption:

RESOLUTION NO. _____ A RESOLUTION APPROVING AN AMENDMENT TO THE EAGLECREST PLANNED UNIT DEVELOPMENT, 2925 LINCOLN DRIVE (PF09-008)

WHEREAS, AT&T Mobile has requested an amendment to the EagleCrest Planned Unit Development approved in 1993, for the purpose of installing telecommunication antenna and equipment shelter; and

WHEREAS, the property is located at 2925 Lincoln Drive and legally described as:

**Lot 2, Block 1, College Properties
PID 04-29-23-14-0066**

WHEREAS, the Roseville Planning Commission held a public hearing regarding the PUD Amendment on May 6, 2009, voting (6-0) to recommend approval, based on the findings of the Planning Commission project report dated April 24, 2009;

NOW THEREFORE BE IT RESOLVED, by the Roseville City Council, to approve the amendment to the EagleCrest Planned Unit Development, based on the information contained in the project report dated May 18, 2009 and the following conditions:

1. The Eagle Crest building addressed at 2925 Lincoln Drive shall be limited to the three single antenna of T-Mobile (previous approval) and the three pairs antennas proposed by AT&T.
2. The equipment shelter shall be painted a similar color to the T-mobile screen wall.
3. The AT&T telecommunication devices (antenna) shall be installed per the plans dated February 27, 2009.
4. Upon termination of AT&T's use of the subject facility, all equipment shall be removed within 30 days.

The motion for the adoption of the foregoing resolution was duly seconded by Council Member _____ and upon vote being taken thereon, the following voted in favor:
and none voted against;

WHEREUPON said resolution was declared duly passed and adopted.

[illegible]

WITNESS MY HAND officially as such Manager this 18th day of May 2009.

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