REQUEST FOR COUNCIL ACTION

DATE: 7/13/2009
ITEM NO: 12.c

Department Approval:

City Manager Approval:

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Item Description: Request by Wellington Management approval of a **rezoning** of 1126

Sandhurst Drive and 2167 Lexington Avenue to Planned Unit Development from Single Family Residence District and General Business District, respectively, and approval of a **Planned Unit Development Agreement** and **Final Planned Unit Development** to allow the construction of a multi-tenant commercial office property (**PF09-003**)

1.0 REQUESTED ACTION

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Wellington Management seeks REZONING of the northwest quadrant of the intersection of County Road B and Lexington Avenue and the approval of a PLANNED UNIT

DEVELOPMENT AGREEMENT and FINAL PLANNED UNIT DEVELOPMENT for a proposed redevelopment which would replace the existing TCF bank structures at 2167 Lexington Avenue and the adjacent single-family residence at 1126 Sandhurst Drive with an 11,900-square-foot commercial office building and parking area.

Project Review History

- General Concept Plan approved: May 11, 2009
- Final application submitted and determined complete: June 8, 2009
- Sixty-day review deadline: August 7, 2009
- Project report prepared: June 30, 2009
 - Anticipated City Council action: July 13, 2009

2.0 SUMMARY OF RECOMMENDATION

Planning Division staff recommends approving the requested REZONING, PLANNED UNIT
DEVELOPMENT AGREEMENT, and FINAL PLANNED UNIT DEVELOPMENT; see Section 7 of
this report for the detailed recommendation.

3.0 SUMMARY OF SUGGESTED ACTION

- Adopt an ordinance REZONING 1126 Sandhurst Drive and 2167 Lexington Avenue to Planned Unit Development from Single Family Residence (R-1) District and General Business (B-3) District, respectively; see Section 7 of this report for details.
- 22 3.2 By motion, approve the FINAL PLANNED UNIT DEVELOPMENT and PLANNED UNIT
 23 DEVELOPMENT AGREEMENT pertaining to the redevelopment and future zoning of 1126
 24 Sandhurst Drive and 2167 Lexington Avenue; see Section 7 of this report details.

4.0 REVIEW OF PLANNED UNIT DEVELOPMENT ZONING

- 4.1 A PLANNED UNIT DEVELOPMENT (PUD) is a zoning district which may include single or mixed uses on one or more lots or parcels, and is intended to be used in unique situations to create a more flexible, creative, and efficient approach to the use of the land subject to the PUD procedures, standards, and regulations contained in the City Code.
- 4.2 The end result of REZONING property to PUD is twofold: the creation of a customized zoning district that regulates the use and development of that specific property in the same way that standard zoning districts regulate other properties, and the establishment of a development agreement for the currently-proposed project. Aspects of such a development may deviate from the requirements of a standard zoning district, but they must be approved by the City Council and specified in a PUD AGREEMENT in order to ensure that the overall development is in keeping with general guidance of the Comprehensive Plan. The PUD AGREEMENT, if approved in the FINAL phase of the PUD review process, will comprise the development parameters on which the REZONING is based. The draft PUD AGREEMENT is included with this staff report as Attachment G.
- 4.3 In an effort to simplify the administration of the new PUD zoning district without compromising the City's ability to ensure that the proposed development is consistent with Roseville's policy and regulation documents, Planning Division staff has prepared a draft PUD AGREEMENT that is slightly different than what has been prepared in the past. Most significantly, staff is proposing to rely on the final site plan to graphically represent the zoning standards of the PUD instead of itemizing each of the setbacks and other development parameters in a written list; this site plan would be Exhibit A of the PUD AGREEMENT. Where the requirements illustrated in Exhibit A are silent, the PUD AGREEMENT states that "the general zoning and development requirements and the standards of the least intensive zoning district consistent with the land use designation of the Comprehensive Plan shall govern."
- 4.4 Uses on the property would be limited to permitted and accessory uses in "the least intensive zoning district consistent with the land use designation of the Comprehensive Plan." The existing Comprehensive Plan designation of "Business" is associated with a wide range of business zoning districts, the least intensive of which is the Limited Retail (B-1B) District. In general, the permitted and accessory uses in the B-1B District are retail uses (not including gas stations or motor vehicle sales), restaurants (not including live entertainment or drive-through facilities), offices, and parking, all of which would be allowed in the PUD zoning district provided all other standard zoning requirements are met. Once the forthcoming Comprehensive Plan is approved by the Metropolitan Council and ratified by the City Council, the PUD zoning district would then allow the permitted and accessory uses in the "the least intensive zoning district" created for the new Neighborhood Business land use designation that is identified for this site.
- 4.5 Because the property at 1126 Sandhurst Drive is currently zoned R-1, the proposed PUD zoning district represents an "up-zoning" of this parcel even though the parking and accessory structure uses indicated for this parcel are both allowed in the R-1 zoning district and are both consistent with the Low Density Residential land use designation of the Comprehensive Plan. Moreover, if this parcel is not REZONED as part of the current application, it will need to be up-zoned upon final approval of the forthcoming 2030 Comprehensive Plan in order to be consistent with its new Neighborhood Business land

use designation. State Statute nevertheless requires that the up-zoning of this parcel may only be approved by the equivalent of a four-fifths vote from Roseville's City Council. If Council Members are supportive of REZONING this property to some form of PUD district they may support the REZONING request even if they're not totally satisfied with some details of the proposed development plans. Separate Council actions follow the recommended adoption of a REZONING ordinance, allowing for further discussion and refinement of the proposal to ensure that the ultimate development is consistent with the approved GENERAL CONCEPT.

5.0 REVIEW OF REVISIONS

 Based upon comments received at the May 11, 2009 City Council meeting, the applicant has made the following revisions to the approved GENERAL CONCEPT plans in an attempt to address the concerns of the City Council and to satisfy the required conditions of approval; an excerpt of the minutes from this meeting are included with this staff report as Attachment C and final plans are included as Attachment D. Because details of these plans may need to be changed to meet the pertinent permitting requirements, the City Council should treat these plans as illustrative of the proposed development as a whole and not as the truly final plans for the issuance permits.

- 5.1 The landscaped islands at the east and west ends of the center row of parking spaces were approximately doubled in size to accommodate additional plantings, including overstory trees to provide additional shade. These expanded islands also have the effect of eliminating a parking space, leaving an overall total of 48 parking spaces. The standard City Code parking requirement for office and retail uses is 5 spaces per 1,000 square feet of "leasable" building area (i.e., gross floor area minus hallways, restrooms, and other common areas). The proposed building is approximately 11,900 square feet in gross floor area and the current floor plan includes about 2,425 square feet of hallways, restrooms, and storage areas leaving a leasable area of approximately 9,475 square feet. Applying the standard parking ratio to the leasable area, 47.4 (i.e., 48) spaces would be required.
- 5.2 Because the building has been shifted north compared to the original proposal in order to eliminate safety concerns related to the traffic visibility triangle, some of the landscaping intended to screen the north side of the parking area from nearby residences is proposed to be located in the Sandhurst Drive right-of-way. Roseville's Public Works Director has no objection to locating such landscaping in the proposed location, so long as the plantings will not interfere with motorists' ability to see one another at the northern entrance to the site or at the nearby intersection. The updated site plan appears to meet these needs, and staff will work with the applicant to ensure that the landscaping within the right-of-way does not interfere with traffic circulation.
- 5.3 Some concern has been expressed pertaining to the potential for the proposed building to create conflicts between motorists exiting the site onto Lexington Avenue and users of the trail in the Lexington Avenue right-of-way. One potential solution was to construct a speed bump near the eastern entrance to the site, west of the pathway, but the applicant's insurer apparently would not allow such a feature. To address these safety concerns, then, the applicant has updated the site plan to increase the proposed setback from the eastern property line from 4 feet to 6 feet and to include signage and pavement markings instructing motorists to stop for trail users.

6.0 RECOMMENDATION

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- Based on the comments and findings outlined in Sections 4 and 5 of this report, Planning Division staff recommends REZONING the parcels at 1126 Sandhurst Drive and 2167
 Lexington Avenue to PUD from R-1 and B-3, respectively. A draft rezoning ordinance is included with this staff report as Attachment F.
- Based on the comments and findings outlined in Sections 4 and 5 of this report, Planning
 Division staff recommends approving the FINAL PUD plans and the PUD AGREEMENT
 pertaining to the proposed development of the parcels at 1126 Sandhurst Drive and 2167
 Lexington Avenue and establishing the zoning requirements governing future use and
 redevelopment of the site, subject to the following condition:
 - a. The applicant shall submit a site plan illustrating and identifying the approved PUD zoning district standards consistent with the architectural site plan dated June 18, 2009 for inclusion in the PUD Agreement as Exhibit A.

7.0 SUGGESTED ACTION

- Pass an ordinance REZONING the parcels at 1126 Sandhurst Drive and 2167 Lexington Avenue to PUD from R-1 and B-3, respectively, as discussed in Sections 4-5 of this report.
- The stablishing the PUD and PUD AGREEMENT comprising the redevelopment plans and the development contract with Roseville Crossing pertaining to the Planned Unit Development at 1126 Sandhurst Drive and 2167 Lexington Avenue and establishing the PUD zoning district standards, based on the comments and findings of Sections 4-5 and the condition of Section 6 of this report.

Prepared by: Associate Planner Bryan Lloyd (651-792-7073)

Attachments: A: Area map D: Final plans

B: Aerial photo
C: Excerpt of May 11, 2009 City
Council minutes
C: Applicant narrative
F: Draft rezoning ordinance
G: Draft PUD Agreement

Attachment A: Location Map for Planning File 09-003 LR/R1 🔳 LR/R1 1038 1078 1072 1050 LR /R1 LR/R2 2231 IR/R1 99 93 N ∞ 2232 LR/R1 2223 2230LR/R LAURIE RD 2214 LR / R1 1/R1 99 LR / R1 09 2204-2206 12051 LR / R1 LEXINGTON 2192-2194 ANDHURST DR 1206¹ 30 1126 1188 1065 2167 AVE R/R1 36 1 163 165 157 102 1125 COUNTY ROAD B W COUNTY ROAD B W LR / R1 LR/B3 920 1066 2154 1044 1032 1026 1186 LR/R1 LR/R1 LR/R1 2150 Lexington BURKE A 2131 LR/R1 206 **Location Map** This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records information and data bitated in various city, county, state and federal offices and other sources regarding the area shown, and it to be used for reference purposes only. The City does not warrant that the Geographic Information Systems (IGIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If error or officerpancies Data Sources * Ramsey County GIS Base Map (2/4/2009) Prepared by: For further information regarding the contents of this map contact: Site Location are found please contact 551-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statuties \$466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to City of Roseville, Community Development Department, **Community Development Department** Comp Plan / Zoning Designations 2660 Civic Center Drive, Roseville MN Printed: February 24, 2009 defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which mapdoc: planning_commission_location.mxd arise out of the user's access or use of data provided.

Attachment B: Aerial Map of Planning File 09-003





Prepared by: Community Development Department Printed: February 24, 2009



Data Sources

* Ramsey County GIS Base Map (2/4/2009)

* Aerial Data: Pictometry (4/2008)

For further information regarding the contents of this map contact: City of Roseville, Community Development Department, 2660 Civic Center Drive, Roseville MN

Disclaimer

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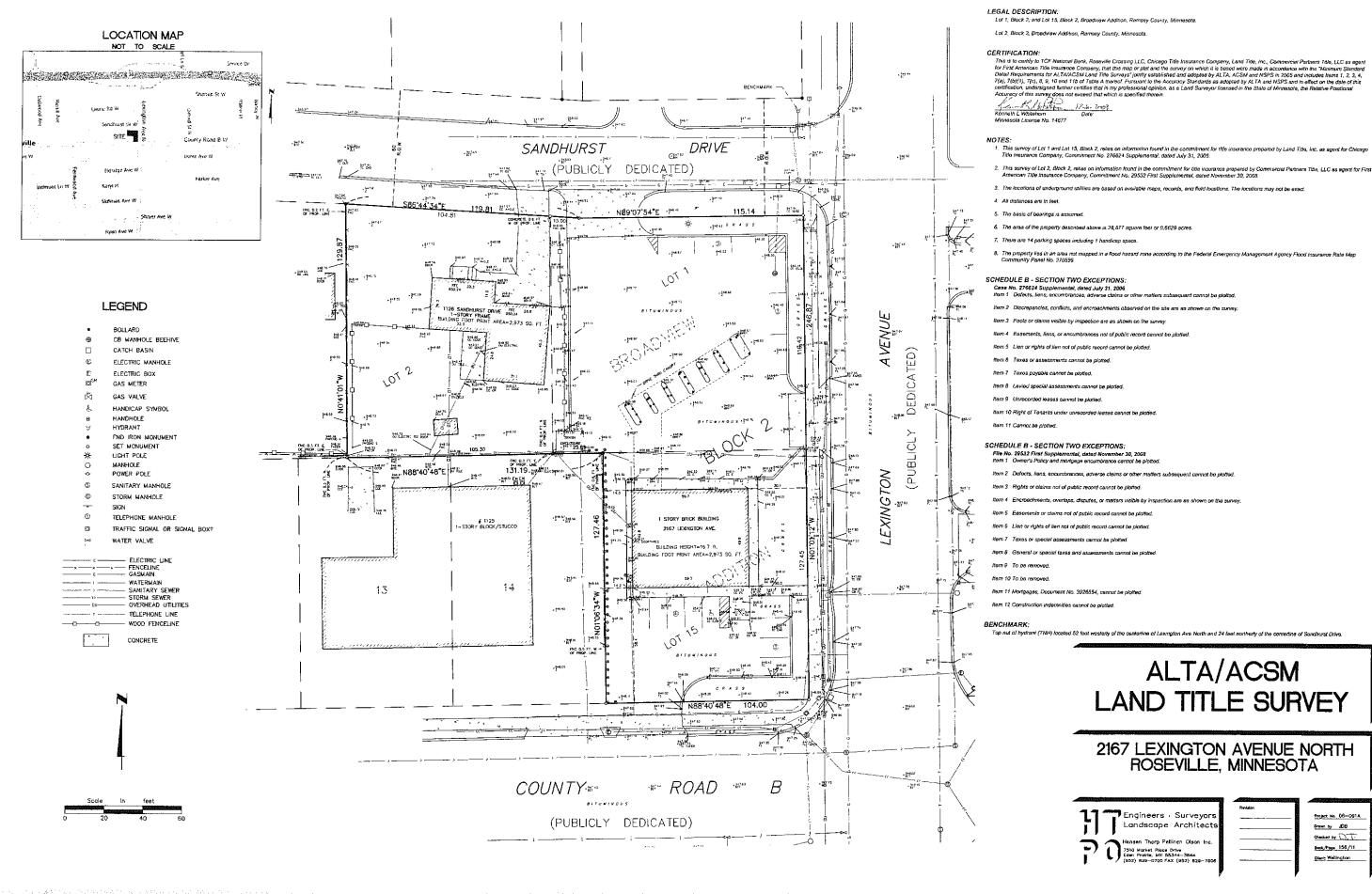
This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring executing measurement of distance or direction or precision in the depiction of geographic features. It errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes \$466.03, Subd. 21 (2000), defend, informity, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.





- Approve Wellington Management request for Rezoning of 1126 Sandhurst Drive and 2167
- 2 Lexington Avenue to Planned Unit Development (PUD) and Approve General Concept
- 3 **PUD (PF09-003)**
- 4 City Planner Thomas Paschke reviewed the request of Wellington Management for REZONING
- and approval of a GENERAL CONCEPT PLANEND UNIT DEVELOPMENT (PUD) for
- 6 redevelopment of the northwest quadrant of the intersection of County Road B and Lexington
- Avenue, replacing the existing TCF bank structure at 2167 Lexington Avenue and the adjacent
- 8 single-family residence at 1126 Sandhurst Drive with an 11,250 square foot commercial office
- 9 building and parking area.
- Staff recommended approval, based on the comments and findings outlined in Sections 4 and 5
- of the staff report dated May 11, 2009, for rezoning of the parcels at 1126 Sandhurst Drive and
- 12 2167 Lexington Avenue to PUD from R-1 and B-3, respectively; and approval of the request for
- a General Concept PUD to allow the proposed redevelopment, based on comments and findings
- outlined in Sections 4 8 of the report, and subject to conditions detailed in Section 7.2 of the
- 15 report.
- Mr. Paschke advised that, since the previous meetings of the applicant and City Council, various
- issues have been addressed at the staff level with the applicant, and will continue to be pursued.
- However, Mr. Paschke noted that some impacts and concerns, such as the driveway access, may
- not be fully realized until the project is in place, at which time they may need to be more
- 20 effectively addressed.
- 21 Mr. Trudgeon concurred, noting that the proposed visual impacts with the driveway access and
- 22 notch may be able to be addressed through signing, lights, or other warning options. Mr.
- 23 Trudgeon advised that the developer had heard the concerns loud and clear, and would attempt to
- resolve the situation, and if not, a condition would be recommended by staff prior to final
- 25 approval.
- 26 **[8.1**]
- 27 Klausing moved, Johnson seconded, approval [N.B. The motion was to "support" the
- rezoning; therefore, the rezoning was not approved.] of REZONING parcels at 1126
- 29 Sandhurst Drive and 2167 Lexington Avenue to Planned Unit Development (PUD) from R-1 and
- 30 B-3 respectively, as detailed in Sections 4-5 of the project report dated May 11, 2009.
- 31 Councilmember Ihlan spoke in opposition to the motion; opining that, from her perspective, the
- applicant had not fully addressed the size of the parking lot and impervious lot coverage, with
- her calculations indicating 64%, which was a significant amount. Councilmember Ihlan further
- noted that the storm water management plan yet to be finalized, and suggested further analysis of
- 35 the number of parking spaces needed for a dental office. Councilmember Ihlan advised that, until
- those issues are resolved, she could not vote on the General Concept.
- 37 Roll Call
- 38 **Ayes:** Roe; Johnson; Ihlan; Pust; and Klausing.
- Nays: Ihlan.
- 40 **Motion carried.**
- 41 **[8.2]**
- 42 Klausing moved, Roe seconded, approval of the GENERAL CONCEPT PUD for Wellington
- 43 Management to allow proposed redevelopment of 1126 Sandhurst Drive and 2167 Lexington
- 44 Avenue; based on the comments and findings of Section 5 6, and the conditions of Section 7 of
- 45 the project report dated May 11, 2009.

- Discussion included calculation of the parking spaces; noting that part of the impervious surface
- discussion was driven by City Code; the applicant's enlarging the parking lot islands to provide
- 48 more green space; the applicant's allotment at a minimal level over City Code (4 spaces); need to
- avoid cars from the office building parking on residential streets; and typical process for
- 50 development of a storm water management plan after the concept plan and before final approval.
- Councilmember Pust suggested that, as a policy discussion, further discussion be held in the
- future as to the standards for parking stalls, which had been developed in the 1970s, and may
- 53 need further review and potential revision in today's reality and with other methods of
- transportation available.
- 55 Councilmember Ihlan suggested that, as a policy matter, the City Council consider issues, such
- as storm water management, at the concept level approval.
- 57 Councilmember Johnson advised that he conducted his own on-site review of site lines and
- driveway access related to the sidewalk and his safety concerns for pedestrians and bicycles, and
- 59 strongly suggested formal signage for the site prior to final approval.
- 60 Councilmember Roe addressed lot coverage, in his review of aerials of the site and the existing
- bank use, and opined that the proposed coverage would be similar overall. Councilmember Roe
- 62 concurred with the safety concerns on site and pedestrians and bicycles using the sidewalk.
- 63 Roll Call
- 64 **Ayes:** Roe; Johnson; Pust; and Klausing.
- Navs: Ihlan.
- 66 Motion carried.

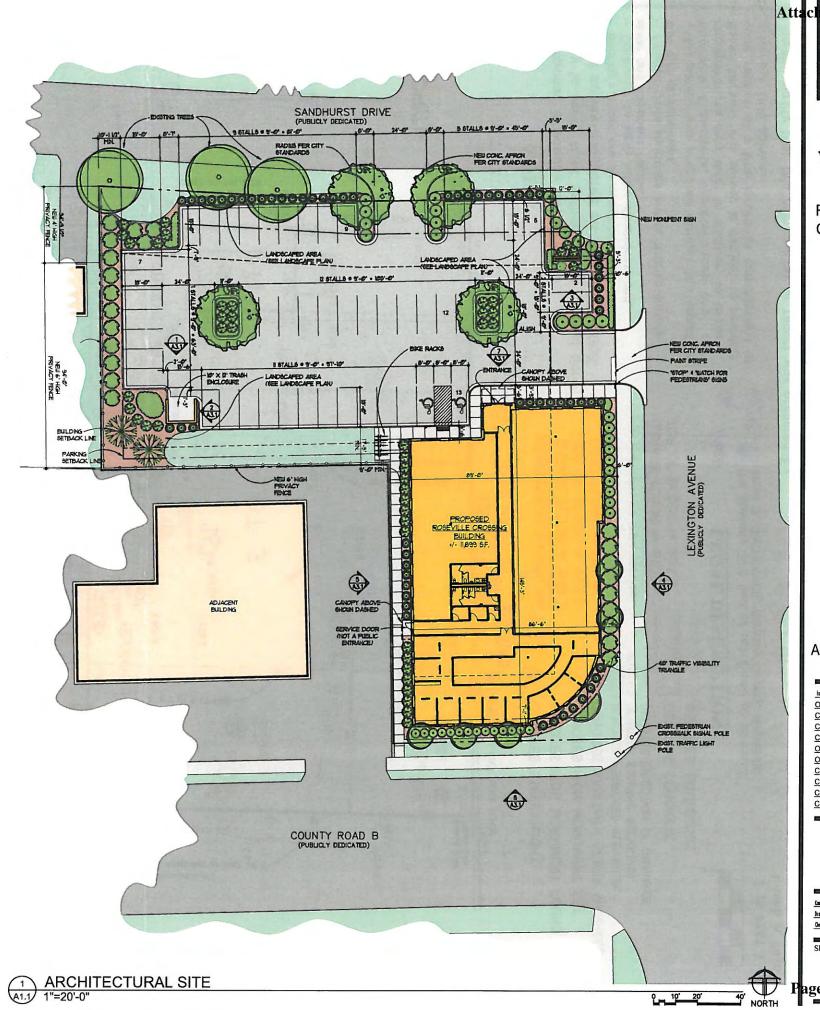


SITE PLAN GENERAL NOTES

A) 61TE INFORMATION HAS BEEN TAKEN FROM A 61TE SURVEY PREPARED BY HANSEN THORP FELLINEN CLSCN INC. 136/ MARKET PLACE DRIVE EDEN FRANKE, IN 18544-1844 DATED 1-13-29. GENERAL CONTRACTOR IS TO VERBY ALL BITE INFORMATION BEFORE STARTING CONSTRUCTION, AND NOTIFY THE ARCHITECT IN BIRTING OF ANY DISCREPANCIES.

B) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.

SITE DATA		
ZONING DISTRICT: B3 & R1		
ZONING REQUIREMENTS	REQUIRED	PROVIDED
BUILDING SETBACKS		* di-
FRONT	30'	6' AND 7'
REAR	20'	NA
SIDE	10'	9'
PARKING SETBACKS		
FRONT	15'	6 1/2"
REAR	5'	17'-5"
SIDE	10'	10'
SITE AREA		42,063 S.F.
		(0.9656 ACRES)
PROPOSED BUILDING AREA		11,899 S.F.
FLOOR AREA RATIO	1.0 MAX	0.28
PARKING AREA (INCLUDING LANDSCAPED AREAS)		26,858 S.F.
LANDSCAPE RATIO IN PARKING AREA		
(5% OF PARKING AREA)	1,343 S.F.	6,905 S.F.
PARKING SPACES (based on 8,884 s.f. of tenant space)	44	48



POPE

POPE ASSOCIATES INC. 1255 ENERGY PARK DRIVE ST. PAUL, MN 55108-5118 PH. (651) 642-9200 FAX (651) 642-1101

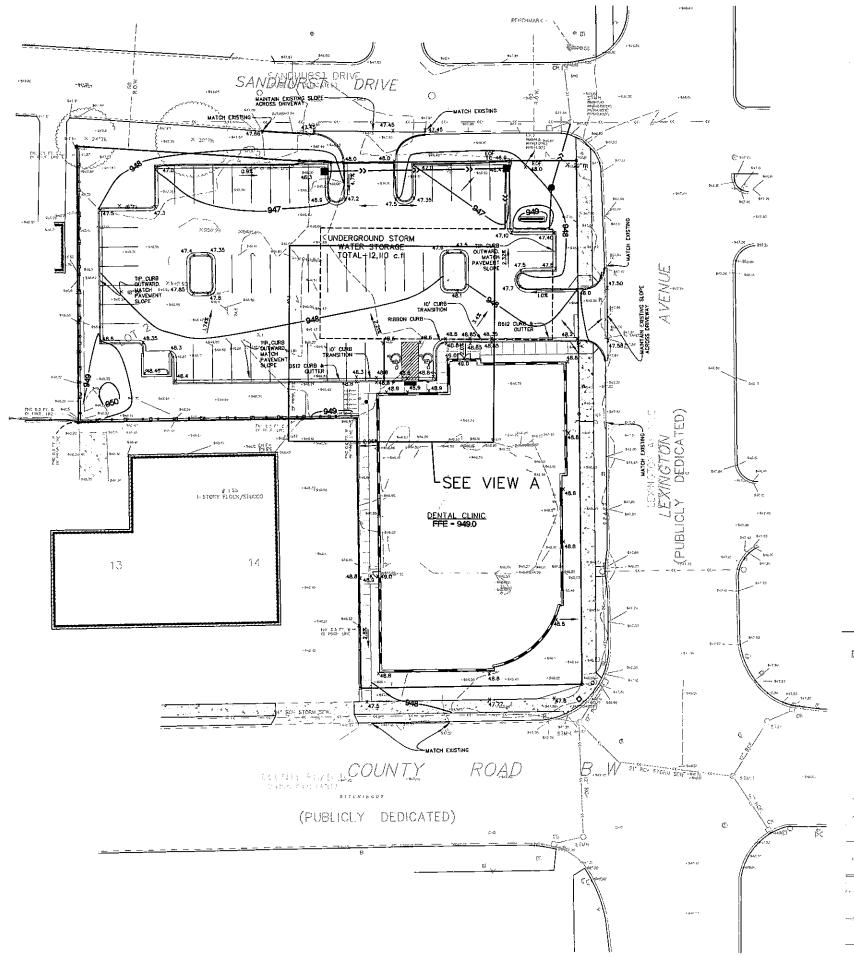
Wellington MANAGEMENT, INC.

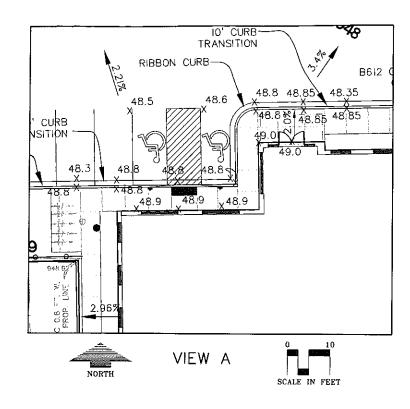
ROSEVILLE CROSSING

ARCHITECTURAL SITE PLAN

Issues and Revisions: OWNER'S REVIEW 2-4-09 CITY SUBMITTAL 2-6-09 CITY RESUBMITTAL 2-25-09 CITY RESUBMITTAL 3-16-09 OWNER REVIEW 3-20-09 OWNER REVIEW 4-6-09 CITY RESUBMITTAL 4-9-09 CITY RESUBMITTAL 4-29-09 CITY RESUBMITTAL 6-5-09 CITY RESUBMITTAL 6-18-09

Drawn by Checked by







SCALE

IN

CIVIL LEGEND

GRADING, DRAINAGE & EROSION CONTROL NOTES

- The contractor shall refer to the architectural plans for exact locations and dimensions of buildings, vestibules, sloped paving, exit porches, ramps, truck docks, entry locations and locations of downspouts.
- All disturbed unpoved areas are to receive minimum of 4 inches of top soil and sod or sect. These areas shall be watered by the contractor until the sod or sect its growing in a healthy manner.

- Before beginning construction the contractor shall install a Temporary Rock Entrance pod at all points of wehicle exit from the project site. Sold Rock Entrance pod shall be maintained by the contractor for the duration of the project See details shown on Sheet C3–2 of the project plans.
- Erosion and Sedimentation control measures shall be established around the entire site perimeter and in accordance with NPDES permit requirements, Seat Management Proclace. City requirements and the details shown on Sheet C3-2 of the project plan
- All entrances and connections to city streets shall be performed per the requirements of the city. The contractor shall be responsible for all permits and notifications as required by the city.
- 10. See utility plan and storm sewer profiles for further detail regarding the storm sewer



Gopher State One Call

TWIN CITY AREA: 651-454-0002 TOLL FREE: I-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE

Attachment D

Roseville Crossing

Roseville, Minnesota

Roseville Crossing LLC. 1625 Energy Park Drive, Suite 100 St.Paul, Minnesota 55108 Ph.651-292-9844 Fax.651-292-0072



Loucks ASSOCIATES

flanning + Civil Engineering + Land Survey Landscape Architectore + Liveropmental

	ily Suismatul
02-25-09 R	ev. City Submitta
03-16-09 R	evised City Submittal
24-29-09 R	evewd Building & Layout
XxX05329 R	eywed Sufernittal
6/26/09 R	ecored Cate Submittal

ľ	Professional Signature:
-	I hereby certify that this plan, specification or report was
	prepared by me or under my direct supervision and that
	I am a duly Licensed Protessional Engineer under the laws
	of the State of Minnescra.

Fric Residence Pf

Project Level:

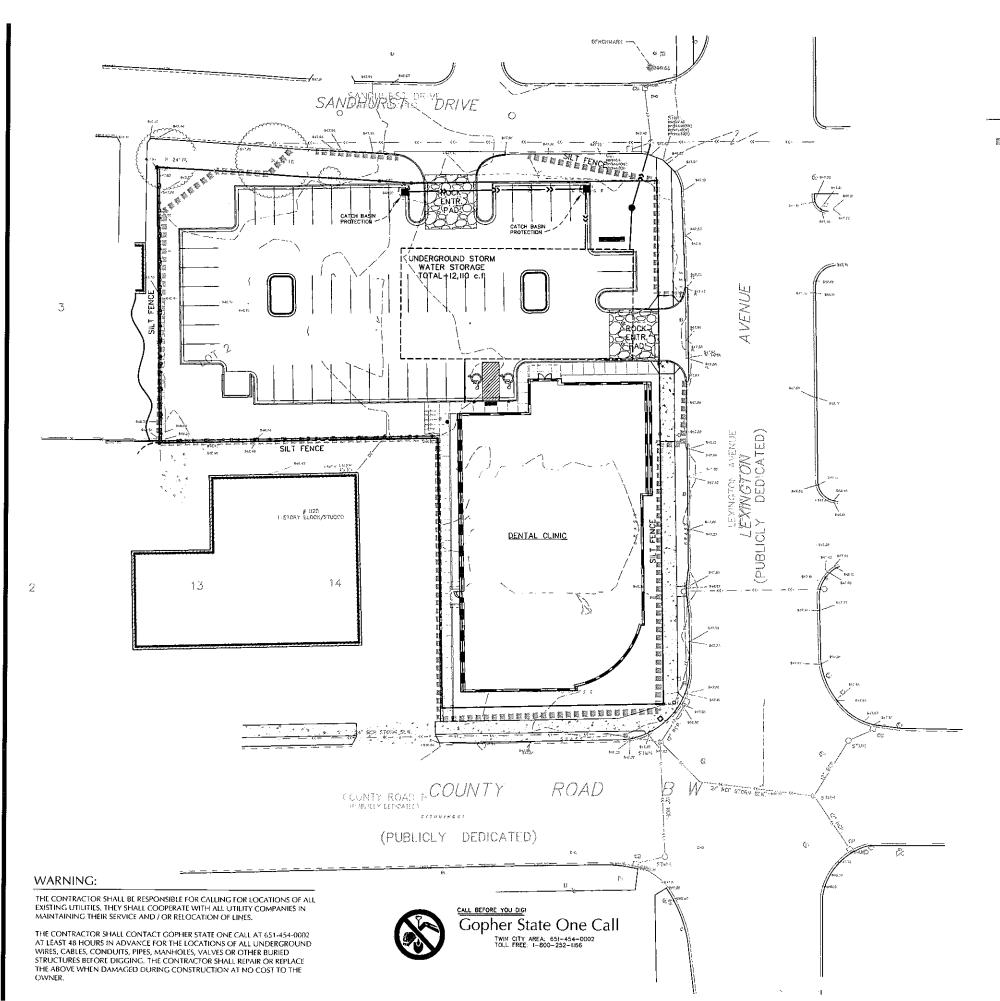
EWB/RLL 06/05/09

| Col. | Colve Sheet | Colve S

Grading & Drainage Plan

08-261

Page 3 of [12]-1







Exc5TMQ	CIVIL LEGEND	PROPOSED			
Ö	SAMTARY WARRICLE	•		HANDICAP PARKING	Ę.
0	STORM WANHOLE		ma LA	DRECTION OF FLOW	
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ø	ELECTRIC MARHOLE		2 4	FENCE LINE	xx
	WATER SERVICE		915. ·	UNDERGROUND TELE	
- # .	SANITARY SERVICE			UNDERGROUND GAS	
			594 -	OVERHEAD UTBUTY	

STORM WATER POLLUTION PREVENTION PLAN (SWPPP) GENERAL NOTES:

- THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING: A 11,200 SQ.FT. DENTAL CLINIC, UTILITIES, AND A UNDERGROUND STORMWATER TREATMENT SYSTEM.
- 2. THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE PAID.

 2. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE PAID.

 3. INSTALL STAGE 2. SET FENCE AROUND A LOCKET STATEM.

 4. INSTALL STAGE 2. SET FENCE AROUND A LOCKET STATEM.

 5. CONSTRUCT UNDERGROUND STORAGE SYSTEM.

 6. CLEAR AND GRUB REMAINDER OF SYSTEM.

 7. STRIP AND STOCKPILE TOPSOG...

 8. ROUGH GRADING OF SITE.

 9. STABILIZED ENDIDED AREAS AND STOCKPILES.

 10. INSTALL SANTARY SEMER, WATERNAIN, STORM SEWER, AND SERVICES.

 11. SUB-OUT PARRIOR, INSTALL PAYEMENT SECTION.

 12. PAYE SITE.

 13. PAYE SITE.

 14. INSTALL SEED AND MUICH.

 15. REMOVE ACCUMULATED SEDMENT FROM STORAGE SYSTEM.

 16. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND RESECT ANY AREAS DISTURBED BY THE REMOVAL.

3. SITE DATA: AREA TO BE DISTURBED - 0.97 cc. PRIOR TO

CONSTRUCTO 0.64 ac. IMPERVIOUS AREA

SOIL TYPES: SEE SOILS REPORT POST CONSTRUCTION RUNOFF COEFFICIENT CN=89

THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.

5. CONSTRUCTION ACTIVITY - EROSION PREVENTION PRACTICES
TIME AN AREA CAN REMAIN
TYPE OF SLOPE
STEEPER THAN 3: 1
FIRM WORKED.
7 DAYS
7 DAYS IO:1 TO 3:1 FLATTER THAN IO:1 DENOTES SLOPES STEEPER THAN 3:1

ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.

ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.

- 8. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEPMT [EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES).
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- 10. SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS
- II. EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE.
- 12. NO ENGINE DEGREASING IS ALLOWED ON SITE.
- 13. THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS BLE, PART BLE AND PART IV. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- CHANGE OF COVERAGE-UPON COMPLETION OF GRADING, UTILITIES, AND STREET CONSTRUCTION THE NEW OWNER (HOME BULDER) MIST SUBBIT A SUBDIVISION REGISTRATION WITHIN 7 DAYS OF ASSUMING OFERATIONAL CONTROL OF THE STEE, COMPLETON WORK ON THEE PORTION OF THE STEE, OF THE LEGAL TRANSPER, SALE OR CLOSING ON THE PROPERTY. MOTE, THE NEW CAN IMPLEMENT THE ORIGIN SWPP CREATED FOR THE PROCECT OR DEVICEOR AND INJURIENT THEORY SWPPP.

- S TERMINATION OF COVERAGE -PERMITTET(S) MISHING TO TERMINATE COVERAGE MIST SUBMIT A NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTET(S) MIST SUBMIT A NOT WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING COMPITIONS HAVE BEEN MET.

 A FIRAL STABULZATION, PER NPDES PERMIT PART INC, AND DEPARTION IN APPENDIX B HAS BEEN A FIRE THAT MISHING OF THE STEE FOR HINCH THE PERMITTET IS RESPONSIBLE.

 B ANOTHER OWNER HAS ASSULDED CONTING LOVER ALL AREAS OF THE STEE THAT HAVE NOT BEEN FRALLY STABILIZED.

 FOR ALL STABILIZED CONTING LOW THE MEMORY STABILIZED AND THE RESPONSIBLE.

 C FOR RESIDENTIAL CONSTRUCTION ONLY, TEMPORARY ERRORS PROTECTION AND DOWN GRADIENT PERMITTER CONTROL FOR INDIVIDUAL LOTS HAS BEEN COMPLETED AND THE RESPONSE HAS BEEN TRANSFERRED TO THE HOMEOWNER ADDITIONALLY, THE PERMITTER MUST DISTRIBUTE THE MEMORY THANGEMENT FACTSHEET TO THE MOMEOWNER TO INFORM THE HOMEOWNER OF THE MECA STRUCTURE OF THE MEMORY THAN FOR THE MEMORY THAN FOR THE MEMORY THAN FACTSHEET TO THE MOMEOWNER TO INFORM THE HOMEOWNER OF THE MECA FOR THAN STRUCTURE THAN THE MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY THAN THE MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY TO MEMORY THE MEMORY THAN THE MEMORY TO MEMORY THE MEMORY THAN THAN THE MEMORY T
- IE. INSPECTIONS
 A. INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 B. EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOURS RAIN EVENT.
 C. STABLEZD AREAS: ONCE EVERY 30 DAYS
 D. FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
- 17. OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS.
- I8 SWPPP MUST BE AMENDED WHEN:
 A THERE IS A CHANGE IN DESIGN, OFERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS
 THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 B. INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER
 QUALITY STANDARDS.
 C. THE BWP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT
 CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.

SILT FENCE REQUIRED MAINTENANCE:

1. WHEN SEDWENT REACHES 1/3 THE REIGHT OF SILT FENCE IT MUST BE REMOVED WITHIN 24 HOURS.

2. REPAIR OR REPLACE DISPUNITIONAL, SILT FENCE WITHIN 24 HOURS.

Attachment D Roseville

Crossing

Roseville Minnesota

Roseville Crossing LLC. C/O Wellington Management, Inc

1625 Energy Park Drive, Suite 100 St.Paul, Minnesota 55108 Ph.651-292-9844 Fax.651-292-0072



Loucks **ASSOCIATES**

finneapolis, Minnesota 55 9 Telephone 1763)424-5505 Fax. (763)424-5822 www.tourksAssociates.com

02-06-09	City Submattal
02-25-09	Rev City Submittel
03-16-09	Revised City Submittal
04-79-09	Revised Building & Layout
06/05/09	Revised Sulamidal
6/26/09	Revised City Submittal

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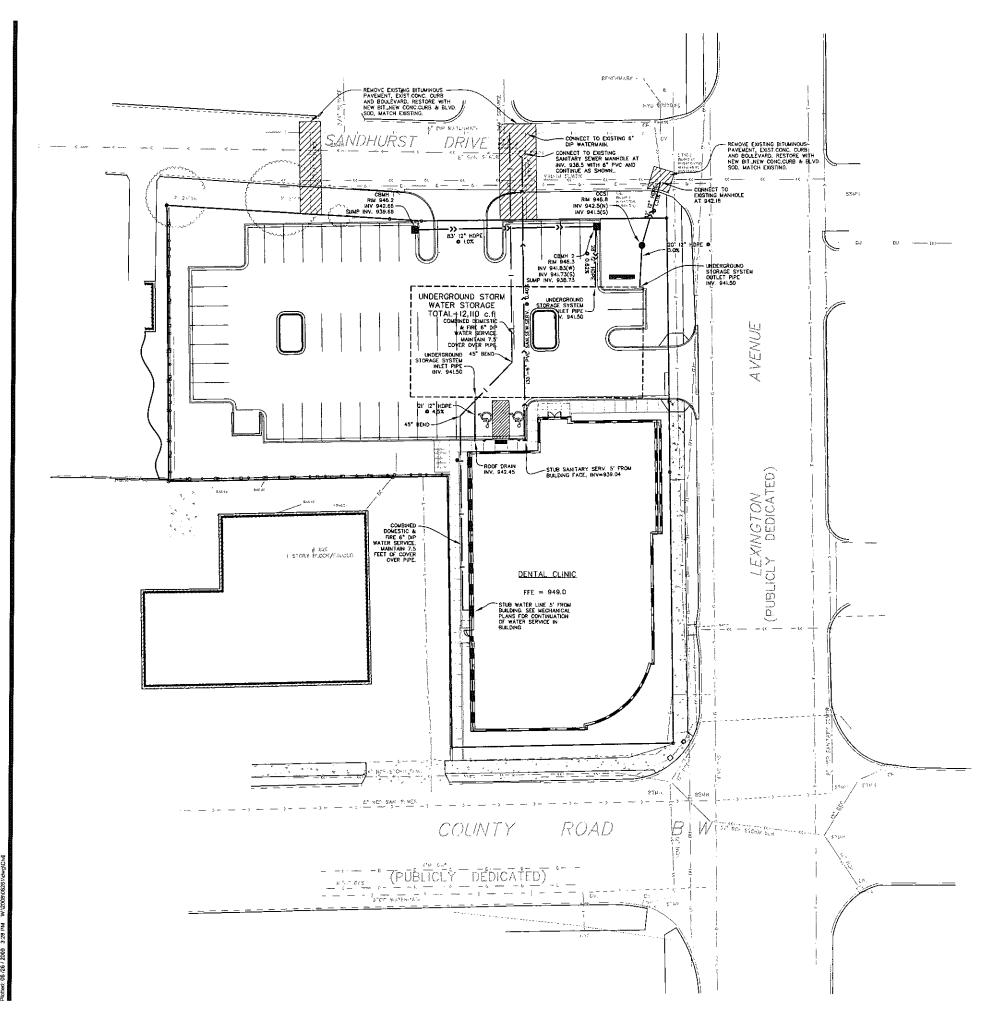
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Storm Water Pollution

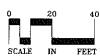
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Prevention Plan

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ERST#6	CIVIL LEGEND	PROPOSED
0 _	SANTARY MANHOLE	-
0	STORM MANHOLE	•
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89/11	POST INDICATOR VALVE	€ PW
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Ü	UTALTY MANHOLE	
¢	ELECTRIC MANHOLE	
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17,	UNDERGROUND TOLE	
	UNDERGROUND GAS	
	OVERHEAD UTILITY	

UTILITY PLAN GENERAL NOTES

- All sanitary sever, storm sever and watermain utilities shall be furnished and installed per the requirements of the specifications, the City and the standard utilities specification of the City Engineers Association of Minnesoto (CEAM), 1999 edition. All HIDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS waterstop gasket. All sanitary sever main line shall be SDR 35. All sanitary sever services shall be SDR 26.
- See Sheet C8-1 and the contract specifications for specific utility details and utility service datals.
- All utility pipe bedding shall be compacted sand or fine granular material per the requirements of the City. All compaction shall be performed per the requirements of the CEAM Specification.
- All connections to existing utilities shall be performed per the requirements of the City. The City Department of Engineering and Building inspections Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.

- 8. All street repairs and potching shall be performed per the requirements of the City. All traffic control shall be provided by the controstor and shall be established per the requirements of the Minnesoto Manuel of Uniform Traffic Control Devices (MUTCD) and the City. This shall include all signage, barricades, finishers and flagger as needed. All public streets shall be open to traffic of all times. No read closures shall be permitted without the expressed authority of a the City.
- 9. All new watermain must have a minimum of 7.5 feet of cover,
- IO. Adjust all existing structures, both public and private to the proposed grades where disturbed and comply with all requirements of the utility owners. Structures being reset to proved areas must meet owners requirements for traffic loading.
- II. Proposed Pipe Materials:

Watermain	DIP Closs 52
Water Service	COPPER TYPE K.I"
Sanitary Sewer	PVC SDR 35
Sanitary Sewer	PVC SDR26
Sanitary Sewer	PVC 4*
Storm Sewer	RCP CLASS 5
Draintile	POLYETHYLENE

No less than 7.5' deep. Service to property line. No more than 20' deep. 20' – 25' deep. Service to property line. 12" to 18" diameter. Back of curb. CALL BEFORE YOU DIG! Gopher State One Call TWIN CITY AREA: 651-454-0002 TOLL FREE: 1-800-252-1166



WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES REFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE Attachment D Roseville Crossing

Roseville, Minnesota

Roseville Crossing LLC. C/O Wellington Management, Inc.

1625 Energy Park Drive, Suite 100 St.Paul, Minnesota 55108 Ph.651-292-9844 Fax.651-292-0072



LOUCKS ASSOCIATES

Planning • Civil Engineering • Land Surveyor Earths ape Architecture • Environmental

2-04-09	City Submittal
2-25-09	Rev. City Submitted
3-16-09	Revised City Submittal
19-09	Revised Building & Layout
6/05/09	Revised Submissal
62409	Revised City Submettal

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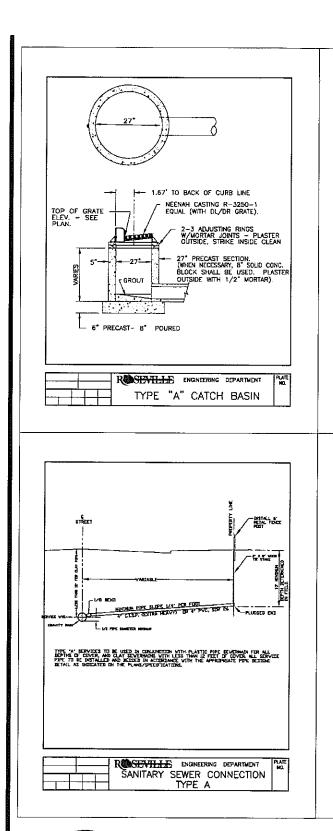
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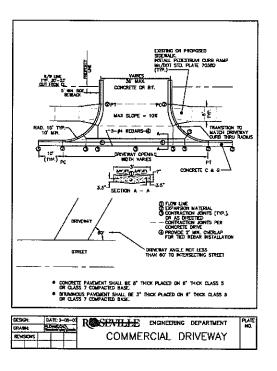
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C2-1	Sile Plan
€3-1	Grading and Drainage P.an
€5-2	Storm Water Poliction Prevencion Plan
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C8-1, C6-2	Utiliny Details
L1-I	Landscape Plan
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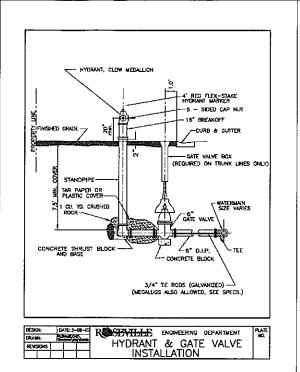
Utility Plan

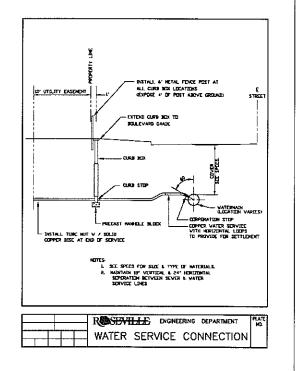
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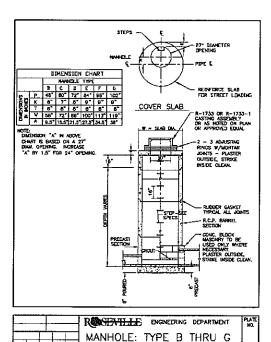
Page 5 of 12-1

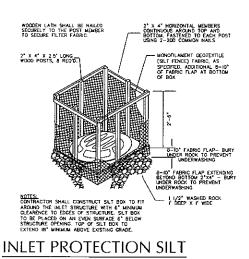




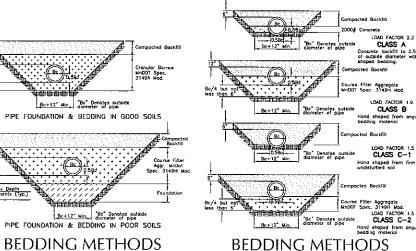


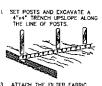










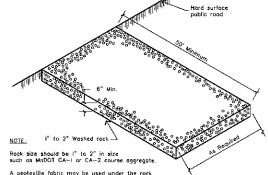


FOR RCP OR DIP PIPE DETAIL

CONSTRUCTION OF A SILT FENCE SILT FENCE MAINTENANCE PROGRAM

- INSPECTION SLT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- REPLACEMENT FABRIC SHALL BE REPLACED PROMPTLY WHEN IT DECOMPOSES OR BECOMES INEFFECTIVE BEFORE THE BARRIER IS NO LONGER NECESSARY.

SILT FENCE DETAIL



ROCK ENTRANCE PAD DETAIL

SEDIMENT REMOVAL - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT, THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE RABRIES



08-261

DETAIL NOTES:

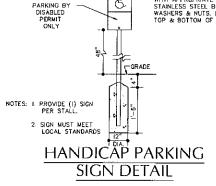
THE CITY OF ROSEVILLE REQUIRES THAT CITY STANDARD PLATES ONLY NEED TO BE USED ON PUBLIC IMPROVEMENT PROJECTS ONLY.

BITUMINOUS PAVING DETAIL

-- !-!/2" MnDOT 233! 4! WEAR COURSE TYPE A -- !-!/2" MnDOT 233! 3! BASE COURSE TYPE B

-- 6" MnDOT 3138 CLASS 5-100% CRUSHED

2. LOUCKS ASSOCIATES HAS SHOWN A MIXTURE OF SOME CITY STANDARD DETAIL PLATES AND PLATES BY OTHERS.





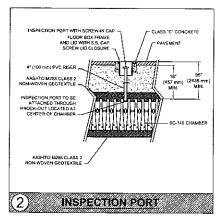
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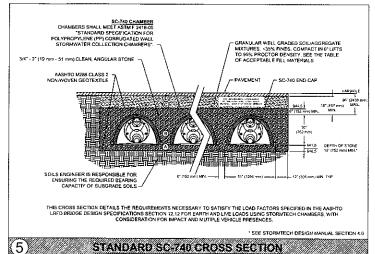
6" Distance (o L variable

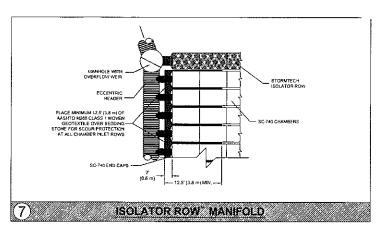
slope 3/4" per ft

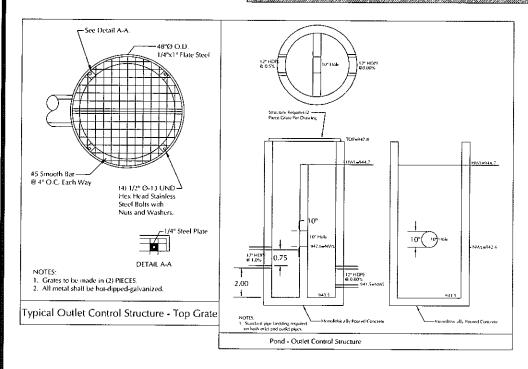
MnDOT 8612

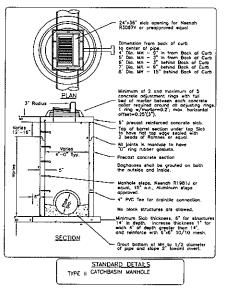
Page 6 of 12











Attachment D Roseville Crossing

Roseville, Minnesota

Roseville Crossing LLC. C/O Wellington Management, Inc.

1625 Energy Park Drive, Suite 100 St.Paul, Minnesota 55108 Ph.651-292-9844 Fax.651-292-0072



DE ENERCY PARK DRIVE ST PAUL MIN 94-08-515

Professional Services:

LOUCKS Associates

Planning • Civil Engineering • Land Surveying Landscape Architecture • Environmental

> 7200 Henlick Lane - Suse 300 Minneapolis, Minnesota, \$5369 Telephone: (763)424-5505 Fax: 17634424-y822

CADD Qualification:

CADO they prepared to the Consultant for this project are the thorse of the Consultant for plantaury as whose to the consultant for the consultant plantaury as whose to the said with reference to the project. These CADO the shall not to these to only prepared to a consultant to the project of the project

ed that party shall hald harmlans and injurinally the from any E. All resconditions, deline, and lidditions. C08261-8-2.DW/Cr/Layor

Thereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Libersect Professional Engineer under the law

Fric Beazley - Pf 43912 Livense No. Da

Sheet Index:

C0-1 Curve Sheet

Sheet Title:

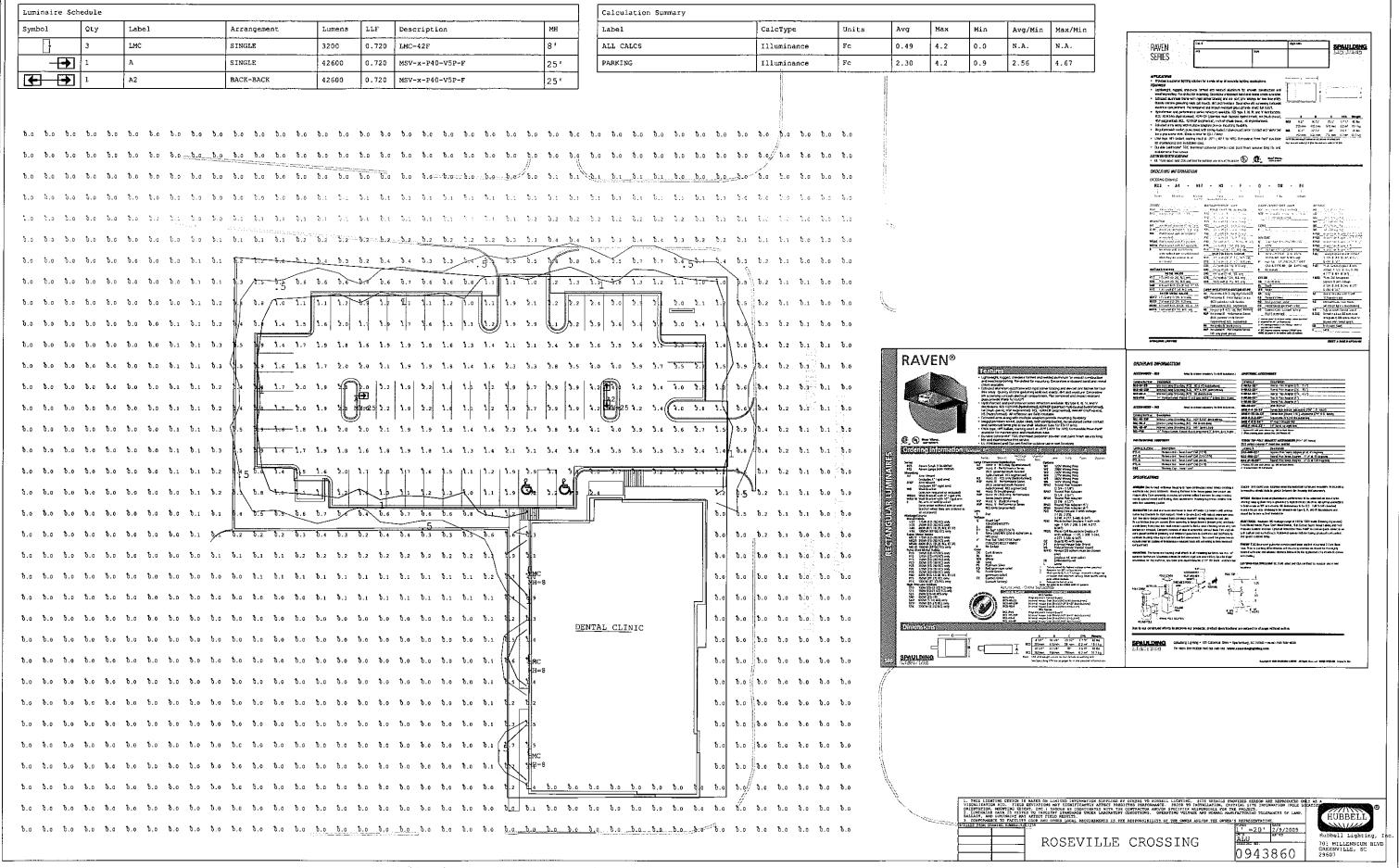
Utility Details

Project No.

08-261

Page 7 of 12-2

Attachment D



COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABOTS PAVED SURFACES, FINISHED GRADE O SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUF TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTIQUES AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STELPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN, UNLESS NOTED OTHERWISE. ASSOCIATION OF NURSERYMEN, UNICES NOTED OTHERWISE.

SPECIFIED SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE

SPECIFIED SHRUB HEIGHT, ORNAMENTAL TREES SHALL HAVE NO V

CROTCHES AND SHALL BEGIN BRANCHING NO LOWIE THAN 3' ABOVE

ROOT BALL STREET AND BOULEVARD. TREE SHALL BEGIN BRANCHING.

NO LOWER THAN 6' ABOVE FINISHED GRADE.

ANY CONFERCIUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USFD, ALL CONFEROUS TREES SHALL BE FULL FORM. NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST, SPECIFICATIONS TAKE PRECEDENCE OVER

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE ALL STAKING OF PLANT MATERIAL PRIOR TO ANY AND ALL DIGGING.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR OLIOTATION

ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED LIPON INSTALLATION WITH DRIED BONE MEAL. OTHER APPROVED FERTILIZER MADED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRAVULAR 0-20-20 OF 12 OZ PER 2.5° CALIPER PER TREE AND 6 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SALICES.

ALL PLANTING ARCAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, ANDIOR WINES SHALL RECEIVE A MINIMUM OF R' DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST AS PARTS TOPSOIL, 45 PAR'IS PÉAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTICTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE, WR. ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS. AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE,

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

ALL ANNUAL AND PERENNIAL PLANTING REDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER,

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURES RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED, INDICATED ON DRAWING OR IN SPECIFICATION.

VERITY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREA ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ARITHMEN BIR DIMOR GOILD/DATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEPICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH INICIDITY VEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTE, HE MUST BRING THISE DEPICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARE HITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS,

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANIDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NICESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

REPRODUCIBLE AS-BUILT DRAWINGIS) OF ALL LANDSCAPE INSTALLATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 13 - NOVEMBER 11 - FALL SEEDING FROM AUGUST 13 - SEPTEMBER 15: DORNAMT SETDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 11 - PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED, ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT,

CONFEROUS PLANTING MAY OCCUR FROM AUGUST 13 - OCTOBER I AND FAIL DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVIMBER 15. PLANTING, OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE APPOINTER.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN, IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING, OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1, NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPI, CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

LANDSCAPE REQUIREMENTS:

TREES REQUIRED = 7

1 TREE PER 25 PARKING SPACES

(25% MUST BE CONIFEROUS)

TREES PROVIDED = 6 EXISTING TREES TO REMAIN = 3

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWING AND SITE ELEMENTS DURING PLANTING OPERATIONS, ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER,

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE VECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - O' CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO BELLALL.

EXISTING CONTOURS. TRAILS, VEGETATION, CURB:GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAFE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIEY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAFE AS POLITICET, WE MAND THE ASSOCIATION OF THE MEMORY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAFE AS POLITICET, WE MAND THE ASSOCIATION OF THE MEMORY AND THE ASSOCIATION OF THE ASSOCIATI LANDSCAPE ARCHITECT OF SAME,

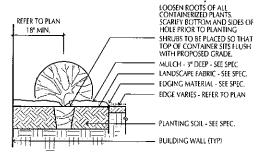
THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REFLOYAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

2 × ROOT BALL WICTPA

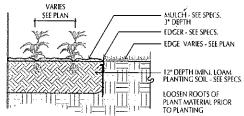
CONFEROUS TREE PLANTING DETAIL

-54JI[]]]]]]]]]

LANDSCAPE DETAILS:







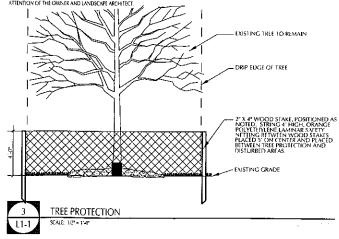


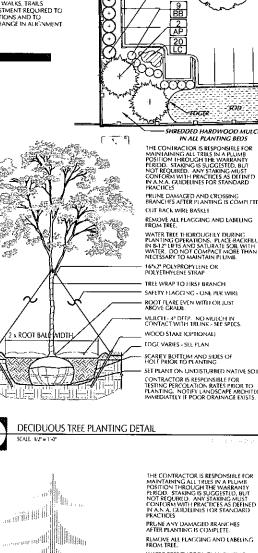
PERENNIAL PLANTING

TREE PROTECTION NOTE

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ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT





LANDSCAPE PLAN:■

SANDHURS1

TREES

DRIVI

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12° LETS AND SATURATE SOR WITH WATER. DO NOT COMPACT MODE THAN NECESSARY TO MAINTAIN PLUMB. 16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP SAFETY FLAGGING - ONE PER WIR MULCH - 4" DEEP - PER SPECS. MULCH MUS NOT BE IN CONTACT WITH TRUNK. WOOD STAKE (OPTIONAL) EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING ROOT BALL SET ON MOUNDED SUBGRADE AJ 23 ANDORRA COMPACT JUNIPER
ES 26 ELEGANS SPRUCE
ML 16 MOTHER LODE JUNIPER
TY 21 TAUNTON YEW

DD 36 DARING DECEPTION DAYLILY
KG 20 KARL FOERSTER GRASS

LC 43 LITTLE MAGNUS CONEFLOWER Echinacea purpurea 'Little Magnus'

BS 40 BLACK EYED SUSAN

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PEANTING, NOTIFY LANDSCAPE ARCHITEC IMMEDIATELY IF POOR DRAINAGE EXISTS.

SOOD ACT DISTURBED AREAS 3 X 3 E E E 500 WOOD FENC WOOD TENCE — SHREDDED HARDWOOD MULCH \bigcirc PRIJNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE. DENTAL CLINIC WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN B-12" LIPTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECTSSARY TO MAINTAIN PLUMB. SET PLANT ON UNDISTURBED NATIVE SOIL
CONTRACTOR IS RESPONSIBLE FOR
TESTING PERCOLATION RATES PRIOR TO
PLANTING, NOTIFY LANDSCAPE ARCHITECT
IMMEDIATRY IF POOR DRAINAGE EXISTS. SCALE IN COUNTY ROAD W PLANT SCHEDULE: SCIENTIFIC NAME SYM QTY COMMON NAME SIZE CONT COMMENTS BO 2 BICOLOR OAK
SL 2 SENTRY LINDEN Quercus bicolor 2.5" CAL B&B SINGLE STEM 2.5" CAL B&B SINGLE STEM Tilia americana "McSenti PS 5 PINK SPIRES CRABAPPLE Maius x Pink Spires 1.5" CAL B&B SINGLE STEM Pinus nigra 6 HGT | 5&B FULL FORM DECIDUOUS SHRUBS
AS 40 ANTHONY WATERER SPIREA Spirea x burnalda Anthony Wa Dienvilla sessilifoka Butterily 24" HGT POT PLANT 5" O.C. 24" HGT POT PLANT 4" O.C. BB 34 BUTTERFLYBUSH

Attachment D Roseville

Crossing

Roseville, Minnesota

Roseville Crossing LLC. C/O Wellington Management, Inc 1625 Energy Park Drive, Suite 100 St.Paul, Minnesota 55108 Ph.651-292-9844 Fax.651-292-0072



Loucks ASSOCIATES

lanning • Criti Engineering • Land Sunleyin Landscape Architecture • Environmental

02-06-09 City Submitted 02-25-09 Rev. City Subm 64-29409 Revised Building & Layou 66-05399 Revised Submitted 6/26409 Revised City Submitted

Professional Signature

Quality Contro

PAK sheet Index

Grading and Dro L1-1 Landkrape Plan

> LANDSCAPE PLAN

 witalis Plumosa Compactal
 24" SPRD
 POT
 PLANT 6" O.C.

 gans
 36" HGT
 POT
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 witalis Mother Lode*
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1 GAL POT PLANT 2' O.C.

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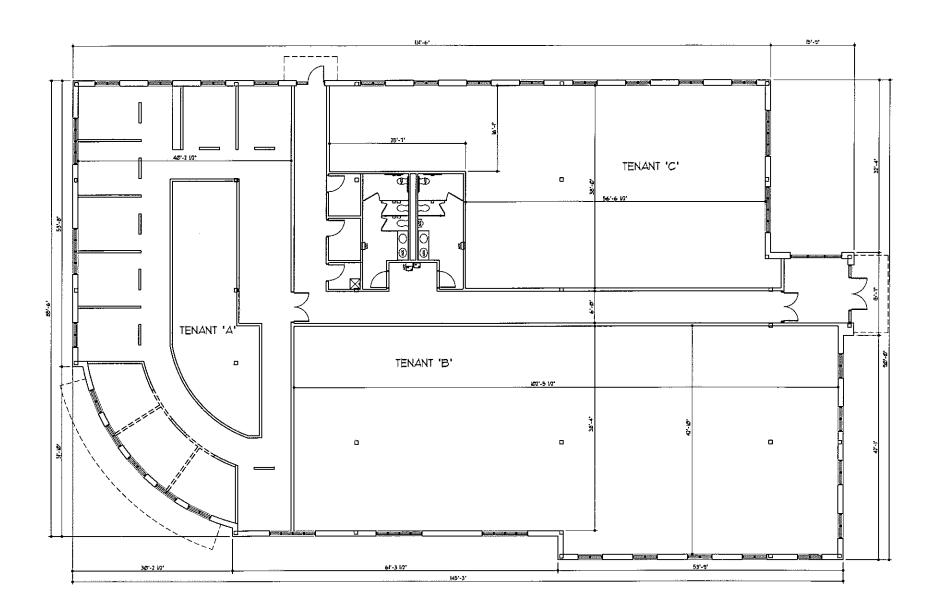
Picea ables 'Elegans'
Juniperus horizontalis 'Mother Lode'
Taxus x media 'Taunton'

Rudbeckia fulgida 'Goldsturm'

Hemerocallis x 'Danng Deception'
Calamagrostis acutiflora 'Karl Foerster'

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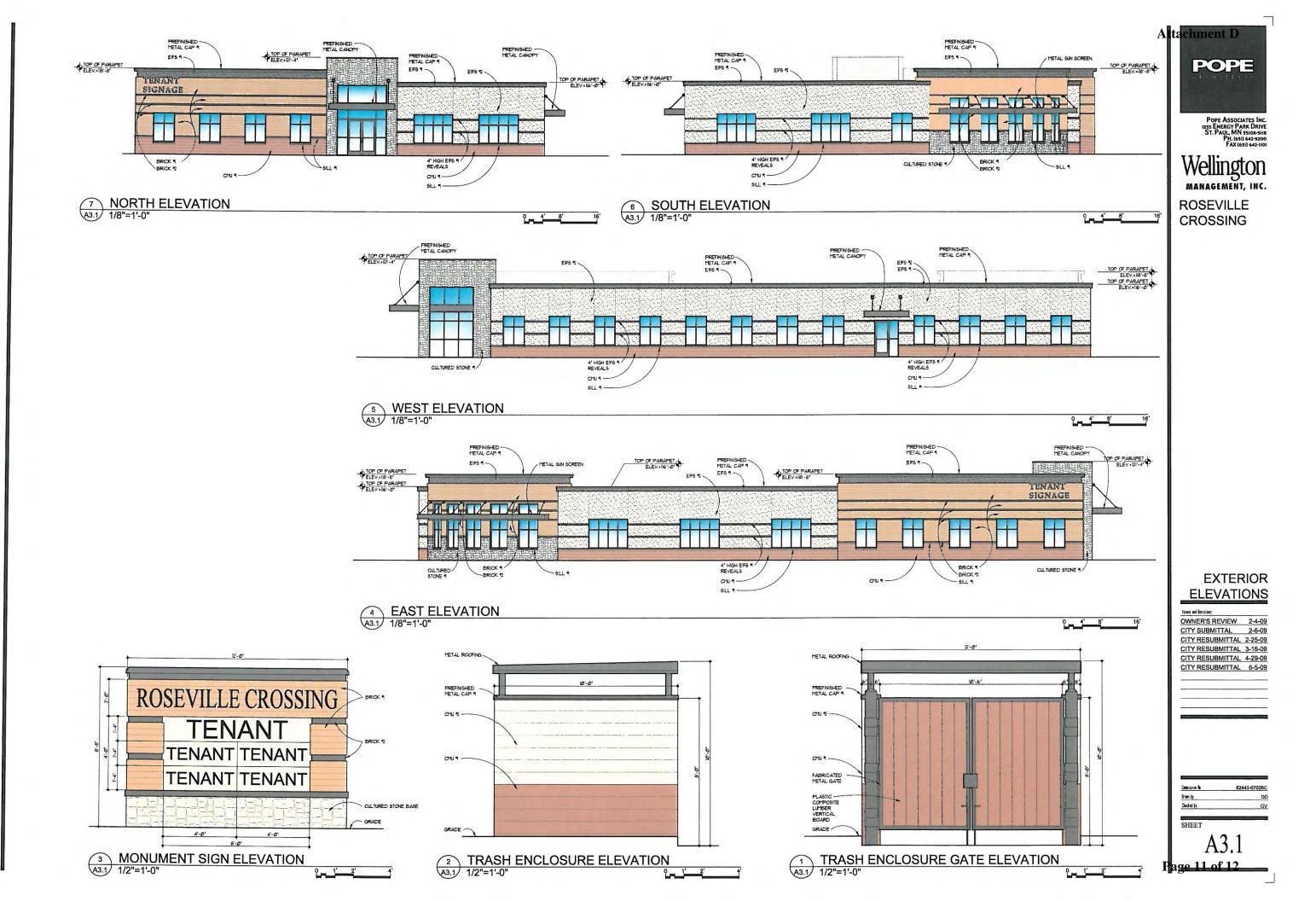


POPE ASSOCIATES INC. 1255 ENERGY PARK DRIVE ST. PAUL MN 55108-5118 PH. (651) 642-9200 FAX (651) 642-1101

ROSEVILLE CROSSING

FLOOR PLAN

1 FLOOR PLAN 1/8"=1'-0"

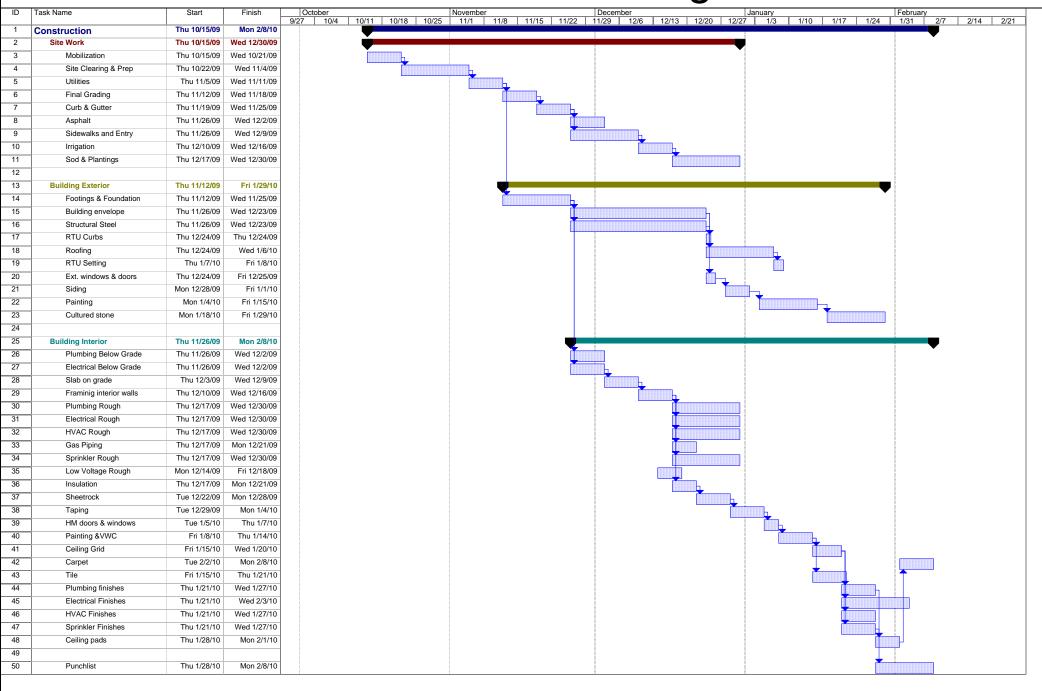


Roseville Crossing

Attachment D

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Page 12 of 12



Project Summary

External Tasks

External MileTask

Project: Roseville Crossing Schedule

Split

Date:06-26-09



Our proposed plan includes removing the existing 2,973SF TCF Bank building and 1,025Sf drivethru canopy in order to complete redevelopment of the site as a new approximately 11,899SF single story, commercial building. The adjacent residence at 1126 Sandhurst is being acquired as well to support the approved PUD plans.

The location of the building is primarily driven by the surrounding residential community. We are keen to support a complete suburban community. In order to do this, the building rests farthest from the neighboring houses on Sandhurst, at the SE lot line. This was requested by the neighbors attending the Community Open House.

We presented our initial Site Plan for consideration on March 23, 2009, completed a Work Session with Council Members on April 20, 2009, and received City Council Approval on May 11, 2009 of the General Concept PUD. As a result of our discussions with Council Members and to summarize the revisions since our May 11th approval, we submit the final PUD Site Plan and Submittals.

In order to provide better visibility to cars leaving the parking lot at Lexington Avenue, we slid a segment of the building's east wall two feet to the west and the building's west wall one foot west. The building setback on the eastern wall increased from four feet to six feet, providing additional visibility to pedestrians and drivers. We also added a painted stripe and "Stop" and "Watch for Pedestrians" signs at the parking lot access on Lexington Avenue.

Parking remains behind the building, at the north end of the parcel. Our intent is to promote safe and pleasant conditions for all in the neighborhood, including: motorists, bicyclists, pedestrians, and residents.

We have been asked to provide further details on the size of the parking lot. Based on the survey prepared by HTPO, dated January 12, 2009, the specific area of the existing TCF bank property is 28,877 SF. This area reflects a paved parking of 19,415 SF which equals 67% of the TCF site. Our proposed development improves this commercial parcel to reflect an area of paved parking of 18,846 SF which equals 44% of the proposed site. We are pleased that our proposed project reduces the area dedicated to parking at the TCF site location. It is noted that we are acquiring a neighboring residence, which in combination, would reduce the total pervious area. We are mitigating this fact by providing an underground water management design that meets current requirements.

The proposed parking lot dimensions are based on two primary reasons:

- 1. Reduce street parking along Sandhurst as requested by neighborhood residents.
- 2. Maintain competitive leasing standards. Office leasing markets remain tight and parking to building ratios often reflect 5 spaces per 1000 SF. Our proposed project has a parking ratio of 4 spaces per 1000 SF. Reducing parking further at the subject site places the development at a substantial disadvantage. A parking ratio lower than 4 spaces per 1000 SF is considered non-competitive for new construction.

1	ORDINANCE NO
2 3 4 5 6	AN ORDINANCE AMENDING TITLE 10 OF THE CITY CODE, CHANGING THE ZONING MAP DESIGNATION OF CERTAIN REAL PROPERTY AT 1126 SANDHURST DRIVE AND 2167 LEXINGTON AVENUE TO PLANNED UNIT DEVELOPMENT FROM SINGLE FAMILY RESIDENCE DISTRICT AND GENERAL BUSINESS DISTRICT, RESPECTIVELY.
7	The City Council of the City of Roseville does ordain:
8 9 10	Section 1. Real Property Rezoned. Pursuant to Section 1016 (Zoning Amendments) of the City Zoning Code of the City of Roseville, and after the City Council consideration of Planning File 09-003, the following property: located at 1126 Sandhurst Drive and legally described as:
12	Broadview Addition Lot 2 Block 2
13	is hereby rezoned from Single Family Residence (R-1) District to Planned Unit Development (PUD) District.
5 6 7	Section 2. Real Property Rezoned. Pursuant to Section 1016 (Zoning Amendments) of the City Zoning Code of the City of Roseville, and after the City Council consideration of Planning File 09-003, the following property, located at 2167 Lexington Avenue and legally described as:
19	Broadview Addition Lot 1 and Lot 15 Block 2
20 21	is hereby rezoned from General Business (B-3) District to Planned Unit Development (PUD) District.
22	Section 3. Effective Date. This ordinance amendment to the City Code and Zoning Map shall take effect upon:
24	1. The passage and publication of this ordinance.
25	Passed this 13 th day of July, 2009. By Mayor Craig D. Klausing

1 2 3		PI	CITY of ROSEVILLE LANNED UNIT DEVELOPMENT AGREEMENT # JULY 13, 2009 (PF09-003)
4 5 6 7 8	ZON and entereferr	ING DIS ntered in ed to as	VELOPMENT AGREEMENT AND PLANNED UNIT DEVELOPMENT STRICT STANDARDS , approved by the Roseville City Council on July 13, 2009, ato between the City of Roseville, a Minnesota municipal corporation (herein "CITY"), and Roseville Crossing LLC 1625 Energy Park Drive, Suite 100, St. ota, 55108 (herein referred to as "DEVELOPER").
9 10 11 12 13 14	1.0	This D passag approv CITY'	ive Date of Agreement Development Agreement shall be effective upon completion of the following: 1) The effe
15 16 17 18	2.0	The Di (PF09-	est for Planned Unit Development Approval EVELOPER has asked the CITY to approve a Planned Unit Development (PUD) -003) that creates a multi-tenant office development on the Subject Property bed as:
19 20			Sandhurst Drive (PIN: 10-29-23-44-0072) City of Roseville, Ramsey County, sota; which is legally described as: <i>Broadview Addition Lot 2 Block 2</i>
21		and	
22 23			Lexington Avenue (PIN: 10-29-23-44-0071) City of Roseville, Ramsey County, sota; which is legally described as: <i>Broadview Addition Lot 1 and Lot 15 Block 2</i>
24	3.0	Rezoning	
25 26 27 28 29 30 31 32		3.1	The CITY conducted hearings and meetings to consider various aspects of the PUD, including rezoning of the Subject Property to PUD; dates of hearings and meetings include March 4, 2009 (Planning Commission – public hearing on Rezoning and General Concept plan), March 23, 2009 (City Council – initial discussion of General Concept), April 20, 2009 (City Council – work session with the DEVELOPER to work out development details), May 11, 2009 (City Council – hearing and approval of General Concept plan), and July 13, 2009 (City Council – hearing and action on rezoning, Final Development Plan, and PUD Agreement).
33 34 35 36 37 38		3.2	The CITY agrees to rezone the Subject Property to PUD, subject to the DEVELOPER's compliance with the approved plans, and the terms and conditions of this Development Agreement. Where this PUD is silent, the general zoning and development requirements and the standards of the least intensive zoning district consistent with the land use designation of the Comprehensive Plan shall govern.

4.0 Initial Development

- 4.1 The CITY hereby grants approval of the final PUD plan of the DEVELOPER, subject to the DEVELOPER's compliance with the terms and conditions of this Development Agreement and the conditions of the City Council approval on July 13, 2009. The CITY agrees to approve applications for building permits, provided: the plans meet all requirements for issuance of building permits, the plans are consistent with the plans approved at the final stage of the PUD process; the DEVELOPER has not defaulted; and all of the standards and conditions of this Development Agreement have been satisfied.
- 4.2 The DEVELOPER shall develop the Subject Property consistent with that described or shown in the following plans as approved by the City Council on July 13, 2009. If these plans vary from the written terms of this Development Agreement, the written terms shall control. In the event the plans address items not specifically addressed in this Development Agreement, the plans shall govern with respect to those items. The plans approved by the City Council on July 13, 2009, or as amended thereafter, include:
 - A. ALTA Survey indicating existing site conditions with all lot dimensions, signed and dated January 12, 2009
 - B. Architectural site plan illustrating the building footprint, parking lot, property lines, and setbacks, revised June 18, 2009
 - C. Grading and drainage plan, revised June 26, 2009
 - D. Storm Water Pollution Prevention Plan, revised June 26, 2009
 - E. Utility plan with details, revised June 26, 2009
 - F. Lighting plan indicating locations, types, and specifications of lighting for the site, including photometric plan, dated February 9, 2009
 - G. Complete landscape plan, including materials list and planting details, indicating the size and location of all plant materials, revised June 26, 2009 to ensure that landscaping along Sandhurst Drive does not interfere with vehicle circulation
 - H. Floor plan indicating interior structure layout, revised June 5, 2009
 - I. Exterior elevation drawings indicating structure height, facade details, and building materials, including the detached trash enclosure, revised June 5, 2009
 - J. Proposed development schedule indicating anticipated dates of beginning demolition, grading, building construction, paving, and landscaping, dated June 26, 2009
- 4.3 The DEVELOPER represents to the CITY that any site improvements pursuant to the proposed development will comply with all City, County, Regional, Metropolitan, State, and Federal laws and regulations, including but not limited to the Roseville Zoning Ordinance.

- 4.4 Development of the property and installation of improvements shall be in accordance with the plans and estimated development schedule provided by the DEVELOPER.
- 4.5 Failure by the DEVELOPER to commence development activity in accordance with the final development plans or within one year following the final approval of this PUD will necessitate the approval of an extension of the development schedule by the City Council prior to the expiration of the one-year period. If an extension is not applied for, the Council may instruct the Planning Commission to initiate rezoning to the least intensive zoning district consistent with the land use designation of the Comprehensive Plan. For purposes of this provision, development activity shall be defined as obtaining a building permit and beginning construction on the site.
- 4.6 Before the issuance of a building, grading, or excavation permit by the CITY, the DEVELOPER shall have posted with the CITY a landscape letter of credit or other security acceptable to the CITY in an amount equal to 150% of the estimated cost of all site restoration and landscaping in accordance with pertinent requirements of the City Code. The Community Development Director, following completion of plans and after the passage of two growing seasons, shall determine the specific amount of this letter of credit or other security.
- 4.7 Landscaping installed within the Sandhurst Drive right-of-way shall be provided, installed, maintained, and replaced as necessary by the DEVELOPER to ensure that the parking area remains screened in accordance with City Code standards.
- 4.8 The DEVELOPER shall clean from streets dirt and debris resulting from construction work by the DEVELOPER or its agents or assigns. The CITY will determine whether it is necessary to take additional measures to clean dirt and debris from the streets; after 24 hours' verbal notice to the DEVELOPER, the CITY may complete or contract to complete the clean up at the DEVELOPER's expense.

5.0 PUD Zoning District Standards

Pursuant to the guidance of the Comprehensive Plan, the following shall serve as the PUD zoning district requirements for the Subject Property and govern its use and development.

- 5.1 For initial development, the site plan (Exhibit A) illustrating the proposed structure, parking lot, property lines, and setbacks, revised July 9, 2009 shall represent the PUD zoning district standards. Where these requirements are silent, the general zoning and development requirements and the standards of the least intensive zoning district consistent with the land use designation of the Comprehensive Plan shall govern.
- 5.2 Use of the Subject Property shall be limited to the uses depicted in the approved plans identified in this Development Agreement and the permitted and accessory uses in the least intensive zoning district consistent with the land use designation of the Comprehensive Plan.

6.0 Developer's Default

- 6.1 For purposes of this Development Agreement, the failure of the DEVELOPER to perform any covenant, obligation, or agreement hereunder, and the continuance of such failure for a period of 30 days after written notice thereof from the CITY (or such longer period of time as may reasonably be necessary to cure any such default, if such default is not reasonably curable within such 30 day period) shall constitute a DEVELOPER default hereunder. Within the 30 day period after notice is given, a request may made for a hearing (by either party) to be held before the Roseville City Council to determine if a default has occurred. Upon the occurrence of DEVELOPER default, the City may withhold any certificate of occupancy for improvements proposed to be constructed.
- 6.2 Notwithstanding anything herein to the contrary, the DEVELOPER may convey a parcel or parcels of land within the PUD to a third party, which conveyed parcels shall remain subject to all of the terms of the PUD specifically relating to said parcels. In that connection, the parties agree as follows:
 - A. A default by the DEVELOPER, or its successors in interest, in the performance of the obligations hereunder, will not constitute a default with regard to the conveyed parcel and will not entitle the CITY to exercise any of its rights and remedies hereunder with respect to such conveyed parcel, so long as such conveyed parcel otherwise complies with applicable provisions of the PUD.
 - B. A default with regard to a conveyed parcel will not constitute a default with regard to the parcels retained by the DEVELOPER or other conveyed parcels, so long as such retained or other conveyed parcels otherwise comply with applicable provisions of this Development Agreement.

7.0 Miscellaneous

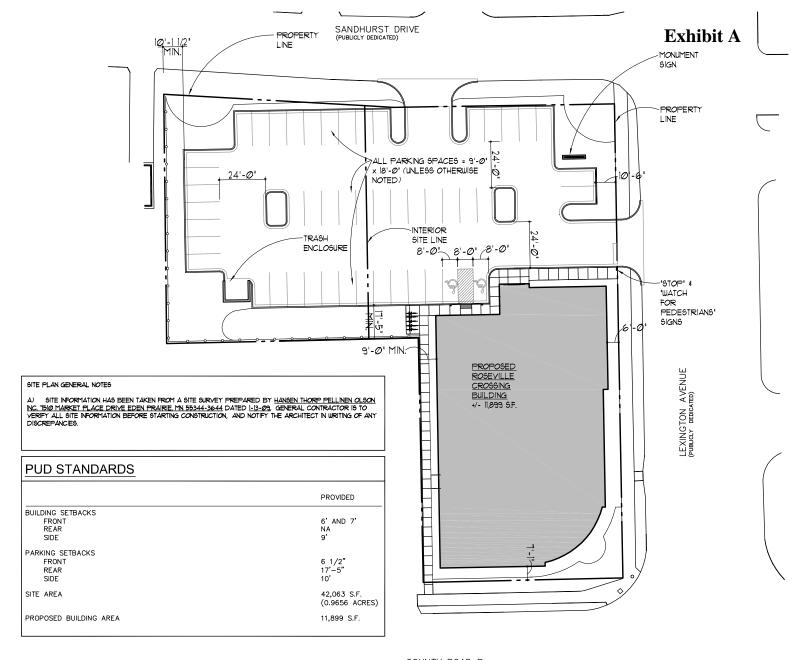
- 7.1 This Development Agreement shall be binding upon the parties, their heirs, successors, or assigns, as the case may be.
- 7.2 Breach of any material term of this Development Agreement by the DEVELOPER shall be grounds for denial of building permits, except as otherwise provided in Section 6 of this Development Agreement.
- 7.3 If any portion, section, subsection, paragraph, sentence, clause, or phrase of this Development Agreement is for any reason held invalid as a result of a challenge brought by the DEVELOPER, their agents, or assigns, the balance of this Development Agreement shall nevertheless remain in full force and effect.
- 7.4 This Development Agreement shall run with the Subject Property and shall be recorded in the Ramsey County Recorder's Office by the CITY.
- 7.5 This Development Agreement shall be liberally construed to protect the public interest.

8.0 **Notices** 160 8.1 Required notices to the DEVELOPER shall be in writing and shall be either hand 161 delivered to the DEVELOPER, their employees, or agents, or mailed to the 162 DEVELOPER by certified or registered mail at the following address: 163 President of Roseville Crossing LLC 164 1625 Energy Park Drive, Suite 100 165 Saint Paul, Minnesota 55108 166 8.2 Notices to the CITY shall be in writing and shall be either hand delivered to the 167 Community Development Director, or mailed by certified or registered mail, in 168 care of the Community Development Director, at the following address: 169 Community Development Director 170 2660 Civic Center Drive 171 Roseville, MN 55113 172

IN WITNESS WHEREOF, the parties have hereunto set their hands the day and year first above written.

CITY OF ROSEVILLE	
By:	
By: Craig Klausing, Mayor	
By: William J. Malinen, City Manager	
Subscribed and sworn to before me on this day of 2009	€.
Notary Public	
STATE OF MINNESOTA)) ss COUNTY OF RAMSEY)	
by Craig Klausing, Mayor, and William	dged before me this day of, 2009, a J. Malinen, City Manager, of the City of Roseville, a behalf of the corporation and pursuant to the authority
ROSEVILLE CROSSING LLC	
By: Stephen B. Wellington, Jr., Pres	ident
Subscribed and sworn to before me on this day of, 200	9.
Notary Public	
STATE OF MINNESOTA)	
COUNTY OF RAMSEY)	

The forgoing instrument was acknowledged before me this ______ day of ______, 2009, by Stephen B. Wellington, Jr., President of Roseville Crossing LLC.

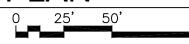


COUNTY ROAD B (PUBLICLY DEDICATED)



ARCHITECTURAL SITE PLAN

1"=50'-0"







ROSEVILLE CROSSING

ROSEVILLE, MN

ARCHITECTURAL SITE PLAN

POPE ASSOCIATES INC. 1255 ENERGY PARK DRIVE | ST. PAUL, MN 55108-5118 PH. (651) 642-9200 | FAX (651) 642-1101

Commission No.	82443-07028C
Drawn by	GV
Date	07-09-09
Sheet	

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