



City Council Agenda

Monday, May 9, 2011

6:00 p.m.

City Council Chambers

(Times are Approximate)

- 6:00 p.m. **1. Roll Call**
Voting & Seating Order for May: McGehee, Johnson, Willmus, Pust, Roe
- 6:02 p.m. **2. Approve Agenda**
- 6:05 p.m. **Joint Meeting with Planning Commission**
- 6:45 p.m. **3. Public Comment**
- 6:50 p.m. **4. Council Communications, Reports and Announcements**
- 6:55 p.m. **5. Recognitions, Donations and Communications**
 - a. Proclaim May 15 as National Police Week and May 15 as Peace Officers' Memorial Day
 - b. Proclaim May Older American's Month
- 7:05 p.m. **6. Approve Minutes**
 - a. Approve Minutes of April 25, 2011 Meeting
- 7:10 p.m. **7. Approve Consent Agenda**
 - a. Approve Payments
 - b. Set Public Hearing to Consider Outback Steakhouse of Florida's application for On-Sale and Sunday Liquor License Transfer
 - c. Approve Application for Minnesota Department of Commerce Auto Theft Program Grant
 - d. Adopt Resolution of Support for Transportation Funding as Requested by the Regional Council of Mayors
 - e. Approve General Purchases and Sale of Surplus items in excess of \$5000
- 7:20 p.m. **8. Consider Items Removed from Consent**
- 9. General Ordinances for Adoption**

10. Presentations

11. Public Hearings

- 7:25 p.m. a. Conduct a Public Hearing regarding the Vacation of the Public Highway Easement that covers the small triangle directly north and adjacent to Sienna Green

12. Business Items (Action Items)

- 7:35 p.m. a. Consider a Resolution Approving the Vacation of the Public Highway Easement that covers the small triangle directly north and adjacent to Sienna Green
- 7:40 p.m. b. Consider Appointment to Grass Lake Water Management Organization Board
- 7:45 p.m. c. Consider Meritex Preliminary/Final Plat at 2280 Walnut St and Request by AirGas North Central for Conditional Use for Outdoor Storage of Bulk Gas Cylinders
- 8:00 p.m. d. Consider United Properties Request for Rezoning Ordinance and Resolution Approving Preliminary & Final Plat for Assisted Living on Cleveland Avenue
- 8:15 p.m. e. Consider a Resolution Approving the Preliminary and Final Plat of Lot 1, Block 1, Sienna Green Second Addition Plan
- 8:25 p.m. f. Consider Approving Joint Powers Agreement for Shared Engineering Services with the City of Maplewood
- 8:30 p.m. g. Consider Approving Roseville Housing Redevelopment Authority Banners

13. Business Items – Presentations/Discussions

- 8:35 p.m. a. Discuss Council Budget Priority Rankings
- 8:55 p.m. b. Discuss Resolution Requesting Reliability Reports for Electric Power for Roseville Service Area
- 9:10 p.m. c. Set Public Hearing Date for Amendment to Tax Increment Financing (TIF) District 18 and Discuss TIF Agreement with AEON
- 9:20 p.m. d. Receive Lawful Gambling Task Force Report
- 9:40 p.m. e. Receive CIP Interim Update

14. City Manager Future Agenda Review

15. Councilmember Initiated Items for Future Meetings

10:00 p.m. **16. Adjourn**

Some Upcoming Public Meetings.....

Tuesday	May 10	1:00 p.m.	Police Civil Service Commission
Tuesday	May 10	6:30 p.m.	Human Rights Commission
Wednesday	May 11	6:30 p.m.	Ethics Commission
Monday	May 16	6:00 p.m.	City Council Meeting
Tuesday	May 17	6:00 p.m.	Housing & Redevelopment Authority
Monday	May 23	6:00 p.m.	City Council Meeting
Tuesday	May 24	6:30 p.m.	Public Works, Environment & Transportation Commission
Monday	May 31	Closed	Observation of Memorial Day City Offices Closed
Wednesday	Jun 1	6:30 p.m.	Planning Commission
Monday	Jun 13	6:00 p.m.	City Council Meeting

All meetings at Roseville City Hall, 2660 Civic Center Drive, Roseville, MN unless otherwise noted.

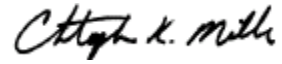
ROSEVILLE
REQUEST FOR COUNCIL ACTION

DATE: 05/09/2011

Department Approval:



Acting City Manager Approval:



Item Description: **Joint Meeting between the Roseville City Council & Planning Commission**

1.0 BACKGROUND

1.1 The City Council meets annually with the Planning Commission to discuss matters of land use, planning, and development.

1.2 The Planning Commission has indicated that they would like to discuss the following items/topics:

a. How can Commissioners better provide the City Council with their decisions on specific items before the Commission.

b. What are the Code items the Planning Commission should be reviewing/considering in 2011?

2.0 RECOMMENDED CITY COUNCIL ACTION

Provide direction to the Planning Commission on items of mutual interest, including planning, land use, development, and the zoning code.

Prepared by: City Planner Thomas Paschke (651-792-7074)



**Police Officers' Memorial Day
May 15, 2011**

**National Police Week
May 15-21, 2011**

Whereas: The Congress and President of the United States have designated the week in which May 15 occurs as National Police Week and May 15 as Peace Officers' Memorial Day; and

Whereas: The Roseville Police Department plays an essential role in safeguarding the rights and freedoms of all members of the community; and

Whereas: It is important that all citizens know and understand the duties, responsibilities, hazards, and sacrifices of their law enforcement agency, and that members of our law enforcement agency recognize their duty to serve the people by safeguarding life and property, by protecting them against violence and disorder, and by protecting the innocent against deception and the weak against oppression; and

Whereas: The men and women of the Roseville Police Officers unceasingly provide this vital public service.

Now, Therefore Be It Resolved, that the Roseville City Council hereby declare the week of May 15 to May 21, 2011 to be National Police Week in the City of Roseville and May 15 as Peace Officers' Memorial Day.

Be It Further Resolved, that the Roseville City Council calls upon all citizens to join in commemorating law enforcement officers, past and present, who, by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their communities and have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens

Be It Further Resolved, to observe May 15 as Peace Officers' Memorial Day in honor of law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty, and let us recognize and pay respect to the survivors of our fallen heroes.

In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Roseville to be affixed this ninth day of May 2011.

Mayor Daniel J. Roe



Older Americans Month May 2011

Whereas: Roseville is home to many residents aged 60 years and older; and

Whereas: Older adults in Roseville are the roots from which our community grows, who bestow gifts of wisdom and insight upon younger generations and strengthen the bonds between neighbors to create a better place to live; and

Whereas: Society can be enhanced by older adults aging peacefully in their communities; and

Whereas: Older adults in Roseville should be commended for their role in creating and bolstering the fiber of our community and our nation; and

Whereas Our community can provide that recognition and respect by enriching the quality of life for older Americans by:

- o Increasing opportunities to remain in their communities as active and engaged citizens;
- o Providing services, technologies and support systems that allow seniors to foster and maintain connections within the community;
- o Emphasizing the value of elders by publically recognizing their contributions to the diversity, strength and unity of our community

Now, Therefore Be It Resolved, that the City Council hereby declare May 2011 to be Older Americans Month in the City of Roseville, County of Ramsey, State of Minnesota, U.S.A.

Be it Further Resolved that we urge every citizen honor our older adults and the professionals, family members and volunteers who care for them. Our recognition of older Americans and their involvement in our lives can help us achieve stronger and more meaningful connections with each other and enrich our community's quality of life.

In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Roseville to be affixed this ninth day of May 2011.

Mayor Daniel J. Roe

Date: 5/09/11

Item: 6.a

Approve 4/25/11 Minutes

No attachment

REQUEST FOR COUNCIL ACTION

Date: 5/09/2011
Item No.: 7 . a

Department Approval

Chris Miller

Acting City Manager Approval

Chris Miller

Item Description: Approval of Payments

BACKGROUND

State Statute requires the City Council to approve all payment of claims. The following summary of claims has been submitted to the City for payment.

Check Series #	Amount
ACH Payments	\$187,074.01
62270-62430	\$615,709.28
Total	\$802,783.29

A detailed report of the claims is attached. City Staff has reviewed the claims and considers them to be appropriate for the goods and services received.

POLICY OBJECTIVE

Under Mn State Statute, all claims are required to be paid within 35 days of receipt.

FINANCIAL IMPACTS

All expenditures listed above have been funded by the current budget, from donated monies, or from cash reserves.

STAFF RECOMMENDATION

Staff recommends approval of all payment of claims.

REQUESTED COUNCIL ACTION

Motion to approve the payment of claims as submitted

Prepared by: Chris Miller, Finance Director
Attachments: A: Check for Approval Report

Accounts Payable

Checks for Approval

User: mary.jenson
Printed: 5/3/2011 - 8:28 AM

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/21/2011	Risk Management	Professional Services	Samba Holdings Inc	FleetWatch Reports	1,207.25
0	04/21/2011	General Fund	Training	Kelly Roberto	Lunch During Training	12.50
0	04/21/2011	TIF District #17-Twin Lakes	Professional Services	Ratwik, Roszak & Maloney, PA	Twin Lakes Condemnation	155.86
0	04/21/2011	Recreation Fund	Professional Services	Joe Tricola	CPR Instructor	150.00
0	04/21/2011	Housing & Redevelopment Agency	Conferences	Jeanne Kelsey	NAHRO Conference Expenses Reiml	538.92
0	04/21/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	501.94
0	04/21/2011	Risk Management	Employer Insurance	Delta Dental Plan of Minnesota	Dental Insurance Premium-March 20	5,085.63
0	04/21/2011	General Fund	211000 - Deferered Comp.	ICMA Retirement Trust 457-300227	Payroll Deduction for 4/19 Payroll	4,979.03
0	04/21/2011	General Fund	210700 - Minnesota Benefit Ded	MN Benefit Association	Payroll Deduction for 4/19 Payroll	1,314.35
0	04/21/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	466.05
0	04/21/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	167.48
0	04/21/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	168.50
0	04/21/2011	General Fund	211403 - Flex Spend Day Care		Dependent Care Reimbursement	641.15
0	04/21/2011	P & R Contract Maintenance	Transportation	Jeff Evenson	Mileage Reimbursement	121.89
0	04/21/2011	General Fund	Contract Maint. - City Garage	Collins Electrical Construction Co.	Time Clocks Repair	148.50
0	04/21/2011	General Fund	Vehicle Supplies	Midway Ford Co	Pad Kit	95.45
0	04/21/2011	General Fund	Vehicle Supplies	Midway Ford Co	Weathers	42.99
0	04/21/2011	General Fund	Operating Supplies	City of St. Paul	Asphalt Mix	1,005.35
0	04/21/2011	General Fund	Contract Maintenance	City of St. Paul	Asphalt Mix	85.10
0	04/21/2011	General Fund	Contract Maintenance	City of St. Paul	Radio Service-March	85.10
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Battery	5.23
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Fleet Shocks	193.42
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Head Set	41.83
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	V-	5.84
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Ind. Belt	5.74
0	04/21/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Credit	-5.84
0	04/21/2011	License Center	Contract Maintenance	Electro Watchman, Inc.	License Center Security	192.38
0	04/21/2011	General Fund	Contract Maintenance	Advanced Graphix Inc	Squad Car Graphics	361.24
0	04/21/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Pad Kit	38.51
0	04/21/2011	General Fund	Contract Maintenance Vehicles	Midway Ford Co	Transmission Replacement	3,358.32
0	04/21/2011	General Fund	Contract Maintenance Vehicles	Midway Ford Co	Rear Axle Replacement	1,053.98
0	04/21/2011	General Fund	Contract Maintenance Vehicles	Midway Ford Co	Power Steering Repair	351.51
0	04/21/2011	Recreation Fund	Professional Services	Metro Volleyball Officials	Volleyball Officiating	687.50
0	04/21/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Branded Friction, Pad Kit	41.08

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/21/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Super Duty Pads, Rotor	242.54
0	04/21/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Headlamp bulb	32.17
0	04/21/2011	Police - DWI Enforcement	Professional Services	Erickson, Bell, Beckman & Quinn P.A.	Vehicle Forfeiture	2,065.00
0	04/21/2011	General Fund	Professional Services	Erickson, Bell, Beckman & Quinn P.A.	Prosecution	11,350.00
0	04/21/2011	General Fund	Utilities - City Hall	Xcel Energy	City Hall Building	6,160.90
0	04/21/2011	General Fund	Utilities - City Garage	Xcel Energy	Garage/PW Building	4,777.91
0	04/21/2011	Recreation Fund	Utilities	Xcel Energy	Nature Center	639.81
0	04/21/2011	Water Fund	Utilities	Xcel Energy	2501 Fairview/Water Tower	849.45
0	04/21/2011	License Center	Utilities	Xcel Energy	Motor Vehicle	535.29
0	04/21/2011	General Fund	Utilities	Xcel Energy	Street Lights	38.94
0	04/21/2011	General Fund	Utilities	Xcel Energy	Street Lights (Twin Lake P2)	61.81
0	04/21/2011	General Fund	Contract Maint. - City Hall	Commercial Steam Team Inc	Carpet Cleaning	3,034.18
0	04/21/2011	General Fund	Contract Maint. - City Garage	Commercial Steam Team Inc	Carpet Cleaning	136.41
0	04/21/2011	General Fund	Contract Maint. - City Hall	Commercial Steam Team Inc	Carpet Cleaning	214.22
0	04/21/2011	Solid Waste Recycle	Professional Services	Eureka Recycling	Curbside Recycling	38,544.55
0	04/21/2011	General Fund	Training	Streicher's	Tactical Gear	1,669.55
0	04/21/2011	Boulevard Landscaping	Operating Supplies	North Image Apparel, Inc.	Cotton Tee Shirts	40.60
0	04/21/2011	Water Fund	Operating Supplies	North Image Apparel, Inc.	Cotton Tee Shirts	60.90
0	04/21/2011	Storm Drainage	Clothing	North Image Apparel, Inc.	Cotton Tee Shirts	101.50
Check Total:						93,859.51
0	04/27/2011	General Fund	Training	White Castle-ACH	Meal During Training-Rosand	5.72
0	04/27/2011	Solid Waste Recycle	Memberships	ASTM-ACH	Volume Plastics Membership	75.00
0	04/27/2011	General Fund	Training	Chisolm Inn-ACH	Lodging During Training-Rosand	71.42
0	04/27/2011	General Fund	Training	Sammys Pizza-ACH	Meal During Training-Rosand	10.82
0	04/27/2011	Community Development	Miscellaneous Expense	Livid Instruments-ACH	Fraudulent Purchase	787.28
0	04/27/2011	Recreation Fund	Operating Supplies	Factory Direct-ACH	Animal Cutouts	16.88
0	04/27/2011	Recreation Fund	Use Tax Payable	Factory Direct-ACH	Sales/Use Tax	-1.09
0	04/27/2011	Recreation Fund	Operating Supplies	Byerly's- ACH	Daddy/Daughter Dance Supplies	9.58
0	04/27/2011	P & R Contract Maintenance	Miscellaneous	North Hgts Hardware Hank-ACH	No Receipt	41.43
0	04/27/2011	Recreation Fund	Office Supplies	Office Depot- ACH	Colored Paper, Labels	44.53
0	04/27/2011	Recreation Fund	Operating Supplies	Party City-ACH	After School Supplies	100.01
0	04/27/2011	Recreation Fund	Operating Supplies	Party City-ACH	Volunteer Dinner Supplies	19.92
0	04/27/2011	General Fund	Training	Atom Training-ACH	Internet Crimes Training-Schultz, Rez	200.00
0	04/27/2011	Storm Drainage	Operating Supplies	General Industrial Supply-ACH	Flashlight	8.55
0	04/27/2011	General Fund	Motor Fuel	Marathon Oil-ACH	Small Engine Fuel	5.63
0	04/27/2011	General Fund	Office Supplies	S & T Office Products-ACH	Office Supplies	51.02
0	04/27/2011	General Fund	Operating Supplies	Consolidated Container-ACH	Brine Tote Tanks	468.83
0	04/27/2011	Information Technology	Operating Supplies	CDW-Government- ACH	Headset, Adapter Cables	178.33
0	04/27/2011	General Fund	Operating Supplies	Menards-ACH	Anti Icing Supplies	75.91
0	04/27/2011	General Fund	Operating Supplies	Suburban Ace Hardware-ACH	Station Supplies	67.72
0	04/27/2011	Storm Drainage	Operating Supplies	United Rentals-ACH	Safety Glasses	5.35
0	04/27/2011	General Fund	Operating Supplies	Buy.com- ACH	Memory Card	12.23

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/27/2011	General Fund	209001 - Use Tax Payable	Buy.com- ACH	Sales/Use Tax	-0.79
0	04/27/2011	General Fund	Operating Supplies	NFPA Natl Fire Protect-ACH	Sprinklers	185.83
0	04/27/2011	General Fund	209001 - Use Tax Payable	NFPA Natl Fire Protect-ACH	Sales/Use Tax	-11.95
0	04/27/2011	Recreation Fund	Office Supplies	Target- ACH	Master Plan Meeting Supplies	10.16
0	04/27/2011	General Fund	Vehicle Supplies	General Industrial Supply-ACH	Proto	33.49
0	04/27/2011	License Center	Office Supplies	S & T Office Products-ACH	Office Supplies	89.94
0	04/27/2011	General Fund	Training	Laerdal Medical-ACH	EMS Training Supplies	32.01
0	04/27/2011	General Fund	209001 - Use Tax Payable	Laerdal Medical-ACH	Sales/Use Tax	-2.06
0	04/27/2011	General Fund	Operating Supplies	Grainger-ACH	Couplers, Adapters	79.56
0	04/27/2011	General Fund	Training	Streicher's-ACH	Low Light Assessment & Shooting C	15.00
0	04/27/2011	General Fund	Operating Supplies	Suburban Ace Hardware-ACH	Washers, Fasteners	43.74
0	04/27/2011	General Fund	Operating Supplies	North Hgts Hardware Hank-ACH	Adapters	15.53
0	04/27/2011	Police Forfeiture Fund	Professional Services	Amazon.com- ACH	Wall Clock	40.70
0	04/27/2011	Police Forfeiture Fund	Use Tax Payable	Amazon.com- ACH	Sales/Use Tax	-2.62
0	04/27/2011	Recreation Fund	Services	Target- ACH	Animal Food	3.99
0	04/27/2011	Recreation Fund	Operating Supplies	Party City-ACH	Volunteer Apprecitaion Supplies	6.41
0	04/27/2011	General Fund	Operating Supplies	Sprint-ACH	Cell Phones	101.81
0	04/27/2011	P & R Contract Maintenance	Temporary Employees	Sprint-ACH	Cell Phones	56.80
0	04/27/2011	Recreation Fund	Professional Services	Sprint-ACH	Cell Phones	27.27
0	04/27/2011	Information Technology	Telephone	Sprint-ACH	Cell Phones	86.31
0	04/27/2011	Water Fund	Professional Services	Sprint-ACH	Cell Phones	56.80
0	04/27/2011	Information Technology	Contract Maintenance	Local Link, Inc.-ACH	DNS Hosting	107.50
0	04/27/2011	General Fund	Employee Recognition	Crown Trophy-ACH	Firefighter Recognition Awards	37.71
0	04/27/2011	General Fund	Miscellaneous	Safepayzone-ACH	Fraudulent Purchase	73.66
0	04/27/2011	P & R Contract Maintenance	Operating Supplies	Beisswenger's Hardware-ACH	Oil Bar	13.38
0	04/27/2011	General Fund	Operating Supplies	Grainger-ACH	Station Supplies	65.64
0	04/27/2011	General Fund	Operating Supplies	SKS Bottle & Packaging-ACH	Cylinders	37.52
0	04/27/2011	General Fund	209001 - Use Tax Payable	SKS Bottle & Packaging-ACH	Sales/Use Tax	-2.41
0	04/27/2011	P & R Contract Maintenance	Miscellaneous	Menards-ACH	No Receipt	26.21
0	04/27/2011	General Fund	Operating Supplies	Suburban Ace Hardware-ACH	Anti Icing Supplies	4.57
0	04/27/2011	P & R Contract Maintenance	Operating Supplies	North Hgts Hardware Hank-ACH	Barricades	9.62
0	04/27/2011	General Fund	Operating Supplies	Northern Tool & Equip- ACH	Anti Icing Supplies	96.40
0	04/27/2011	Recreation Fund	Office Supplies	Office Depot- ACH	Office Supplies	285.14
0	04/27/2011	General Fund	Operating Supplies	Target- ACH	Facility Committee Supplies	26.37
0	04/27/2011	Recreation Fund	Operating Supplies	Rainbow Foods-ACH	Bird Feeder Foods	42.72
0	04/27/2011	General Fund	Professional Services	Employtest-ACH	Employee Test	200.00
0	04/27/2011	P & R Contract Maintenance	Contract Maintenance	Nitti Sanitation-ACH	Garbage Service	516.80
0	04/27/2011	General Fund	Contract Maint. - City Hall	Nitti Sanitation-ACH	Garbage Service	153.00
0	04/27/2011	General Fund	Contract Maintienace	Nitti Sanitation-ACH	Garbage Service	88.40
0	04/27/2011	General Fund	Contract Maint. - City Garage	Nitti Sanitation-ACH	Garbage Service	275.40
0	04/27/2011	General Fund	Contract Maintenance	Nitti Sanitation-ACH	Garbage Service	54.40
0	04/27/2011	Golf Course	Contract Maintenance	Nitti Sanitation-ACH	Garbage Service	108.80
0	04/27/2011	Recreation Fund	Contract Maintenance	Nitti Sanitation-ACH	Garbage Service	224.40
0	04/27/2011	Housing & Redevelopment Agency	Operating Supplies	Chianti Grill-ACH	Home & Garden Volunteer Lunch	123.67

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/27/2011	Recreation Fund	Miscellaneous	New Model Army-ACH	Fraudulent Purchase	222.25
0	04/27/2011	Water Fund	Water Meters	Suburban Ace Hardware-ACH	Containers, Liquid Wrench	21.59
0	04/27/2011	Recreation Fund	Operating Supplies	Olive Garden-ACH	Volunteer Appreciation Gift Cards	20.00
0	04/27/2011	P & R Contract Maintenance	Operating Supplies	North Hgts Hardware Hank-ACH	Paint	65.10
0	04/27/2011	General Fund	Office Supplies	Office Depot- ACH	Office Supplies	8.56
0	04/27/2011	General Fund	Operating Supplies	Target- ACH	VHS Tapes	179.88
0	04/27/2011	Sanitary Sewer	Operating Supplies	Suburban Ace Hardware-ACH	Sledge Hammer	14.99
0	04/27/2011	Recreation Fund	Operating Supplies	North Hgts Hardware Hank-ACH	Distilled Water, Anchors	9.60
0	04/27/2011	Recreation Fund	Miscellaneous	Office Depot- ACH	Inadvertant Charge Repaid Check 511	88.41
0	04/27/2011	General Fund	Training	Target- ACH	Training Supplies	25.49
0	04/27/2011	Recreation Fund	Operating Supplies	Target- ACH	After School Supplies, Department St	29.99
0	04/27/2011	Recreation Fund	Operating Supplies	Target- ACH	After School Supplies, Department St	85.31
0	04/27/2011	Recreation Fund	Professional Svcs	U of M- ACH	Demystifying Evaluation Class-Maxe	25.00
0	04/27/2011	Recreation Fund	Operating Supplies	Outback Steakhouse - ACH	Volunteer Appreciation Supplies	20.00
0	04/27/2011	Recreation Fund	Operating Supplies	Joann ETC-ACH	Dance Recital Supplies	142.10
0	04/27/2011	Recreation Fund	Operating Supplies	Panda Garden Buffet-ACH	Volunteer Appreciation Supplies	20.00
0	04/27/2011	Recreation Fund	Miscellaneous Expense	Boy Scouts of America-ACH	Missing Receipt	35.00
0	04/27/2011	P & R Contract Maintenance	Miscellaneous	MN Horticulture-ACH	No Receipt	85.75
0	04/27/2011	Recreation Fund	Miscellaneous	Safepayzone-ACH	Fraudulent Purchase	178.76
0	04/27/2011	General Fund	Miscellaneous	Big Country Surrey-ACH	Fraud	226.03
0	04/27/2011	Recreation Fund	Operating Supplies	St. Paul Bagelry-ACH	Volunteer Appreciation Supplies	20.00
0	04/27/2011	General Fund	Operating Supplies	Menards-ACH	Station Supplies	39.34
0	04/27/2011	General Fund	Vehicle Supplies	PTS Tool Supply-ACH	Tools	67.00
0	04/27/2011	Recreation Fund	Operating Supplies	Michaels-ACH	HANC Supplies	6.42
0	04/27/2011	Recreation Fund	Operating Supplies	Olive Garden-ACH	Volunteer Appreciation Supplies	20.00
0	04/27/2011	Recreation Fund	Operating Supplies	Target- ACH	Volunteer Appreciation Dinner Suppli	17.14
0	04/27/2011	Sanitary Sewer	Operating Supplies	Kath Auto Parts-ACH	Famale Maxi	4.49
0	04/27/2011	General Fund	Training	U of M CCE Online-ACH	Seal Coat Workshop-Tschida	50.00
0	04/27/2011	Storm Drainage	Training	MacQueen Equip-ACH	Crosswind Broom Training	240.00
0	04/27/2011	General Fund	Operating Supplies	Keeprs-ACH	Glock Magazine	111.83
0	04/27/2011	Water Fund	Operating Supplies	WW Goetsch-ACH	Gaskets	139.32
0	04/27/2011	License Center	Office Supplies	Target- ACH	Office Supplies	26.56
0	04/27/2011	Recreation Fund	Operating Supplies	Dunn Bros Coffee-ACH	Volunteer Prizes	15.00
0	04/27/2011	Recreation Fund	Operating Supplies	Weissman's Design-ACH	Dance Costumes	342.59
0	04/27/2011	Recreation Fund	Operating Supplies	Target- ACH	Volunteer Appreciation Supplies	20.18
0	04/27/2011	Storm Drainage	Operating Supplies	General Industrial Supply-ACH	Insulated PVC Orange Safety	136.54
0	04/27/2011	General Fund	Telephone	Sprint-ACH	Cell Phones	39.94
0	04/27/2011	General Fund	Telephone	Sprint-ACH	Cell Phones	158.78
0	04/27/2011	Information Technology	Telephone	Sprint-ACH	Cell Phones	159.83
0	04/27/2011	Recreation Fund	Telephone	Sprint-ACH	Cell Phones	119.87
0	04/27/2011	P & R Contract Maintenance	Telephone	Sprint-ACH	Cell Phones	39.96
0	04/27/2011	Golf Course	Telephone	Sprint-ACH	Cell Phones	39.96
0	04/27/2011	General Fund	Telephone	Sprint-ACH	Cell Phones	40.80
0	04/27/2011	General Fund	Office Supplies	Staples-ACH	Office Supplies	49.56

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/27/2011	Recreation Fund	Miscellaneous	MAM Retail-ACH	Fraudulent Purchase	282.57
0	04/27/2011	Recreation Fund	Operating Supplies	Office Depot- ACH	Office Supplies	21.41
0	04/27/2011	Recreation Fund	Operating Supplies	Target- ACH	Afterschool Supplies	7.73
0	04/27/2011	General Fund	Operating Supplies	Nelsons Cheese & Deli-ACH	Lunch During CSO Interviews	37.02
0	04/27/2011	General Fund	Training	MN Fire Svc Cert Board-ACH	Firefighter Training Recertifications	680.00
0	04/27/2011	General Fund Donations	K-9 Supplies	Greg Robert Pet Supplies-ACH	K9 Supplies	23.05
0	04/27/2011	General Fund Donations	Use Tax Payable	Greg Robert Pet Supplies-ACH	Sales/Use Tax	-1.48
0	04/27/2011	General Fund	Miscellaneous	The Tattoo Shop-ACH	Fraud	287.37
0	04/27/2011	General Fund	Professional Services	GFOA- ACH	GFOA Budget Award Application	330.00
0	04/27/2011	General Fund	Operating Supplies	Target- ACH	Facility Committee Supplies	77.00
0	04/27/2011	Recreation Fund	Operating Supplies	Chanhassen Dinner-ACH	Adult Trips	100.00
0	04/27/2011	Recreation Fund	Operating Supplies	Action Flag-ACH	Flags	293.16
0	04/27/2011	Recreation Fund	Use Tax Payable	Action Flag-ACH	Sales/Use Tax	-18.86
Check Total:						11,219.79
0	04/28/2011	General Fund	Vehicle Supplies	Force America, Inc.	Vehicle Parts	19.91
0	04/28/2011	Information Technology	Transportation	Douglas Barber	Mileage Reimbursement	103.53
0	04/28/2011	Housing & Redevelopment Agency	Training	Jeanne Kelsey	Sensible Land Use Meeting Reimburs	96.00
0	04/28/2011	General Fund	211403 - Flex Spend Day Care		Dependent Care Reimbursement	192.31
0	04/28/2011	Housing & Redevelopment Agency	Advertising	George Hornik	Newsletter & Google Ad Payment	550.00
0	04/28/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	1,474.11
0	04/28/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	350.00
0	04/28/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	221.35
0	04/28/2011	Risk Management	Police Patrol Claims	DPMS Firearms, LLC		1,162.27
0	04/28/2011	Recreation Fund	Operating Supplies	Sysco Mn	Paper Plates, Popcorn, Cleaining Supj	182.11
0	04/28/2011	Golf Course	Merchandise For Sale	Sysco Mn	Paper Plates, Popcorn, Cleaining Supj	83.96
0	04/28/2011	Golf Course	Operating Supplies	Sysco Mn	Paper Plates, Popcorn, Cleaining Supj	262.86
0	04/28/2011	General Fund	Vehicle Supplies	Midway Ford Co	Vehicle Supplies	179.42
0	04/28/2011	General Fund	Professional Services	City of St. Paul	Wireless and RMS Service-April 201	2,773.05
0	04/28/2011	General Fund	Contract Maintenance	City of St. Paul	Wireless CAD System Jan-March 201	675.00
0	04/28/2011	Water Fund	Operating Supplies	Allegra Print & Imaging	Notice Tags	133.18
0	04/28/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Battery	213.07
0	04/28/2011	Water Fund	Operating Supplies	Murphys Service Center Inc	L.P. Gas	14.94
0	04/28/2011	General Fund Donations	K-9 Supplies	Advanced Graphix Inc	K9 Squad Graphics	388.49
0	04/28/2011	General Fund	Vehicle Supplies	Catco Parts & Service Inc	Vehicle Supplies	18.00
0	04/28/2011	General Fund	Vehicle Supplies	Catco Parts & Service Inc	Vehicle Supplies	21.64
0	04/28/2011	Sanitary Sewer	Operating Supplies	MacQueen Equipment	15' Grapple	465.21
0	04/28/2011	General Fund Donations	K-9 Supplies	Ray Allen Mfg. Co., Inc.	Leather Lead	61.88
0	04/28/2011	General Fund Donations	Use Tax Payable	Ray Allen Mfg. Co., Inc.	Sales/Use Tax	-3.98
0	04/28/2011	General Fund Donations	K-9 Supplies	Ray Allen Mfg. Co., Inc.	Round Steel Choke	9.57
0	04/28/2011	General Fund Donations	Use Tax Payable	Ray Allen Mfg. Co., Inc.	Sales/Use Tax	-0.62
0	04/28/2011	General Fund	Vehicle Supplies	Kath Fuel Oil Service, Inc.	Oil Master	196.38
0	04/28/2011	General Fund	Operating Supplies	Uline	Nitrile Gloves	210.84

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
0	04/28/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	Battery	213.07
0	04/28/2011	General Fund	Vehicle Supplies	Factory Motor Parts, Co.	A/CL Element	20.00
0	04/28/2011	General Fund	Motor Fuel	Yocum Oil	Fuel	10,853.72
0	04/28/2011	Recreation Fund	Memberships & Subscriptions	DMX Music, Inc.	DMX Services	146.63
0	04/28/2011	General Fund	Vehicle Supplies	Napa Auto Parts	Battery Cable	125.58
0	04/28/2011	General Fund	Utilities	Xcel Energy	Civil Defense	135.25
0	04/28/2011	Golf Course	Utilities	Xcel Energy	Golf	466.13
0	04/28/2011	General Fund	Utilities	Xcel Energy	Fire Station #1	2,789.20
0	04/28/2011	P & R Contract Maintenance	Utilities	Xcel Energy	P7R	3,187.74
0	04/28/2011	Sanitary Sewer	Utilities	Xcel Energy	Sewer	149.35
0	04/28/2011	Recreation Fund	Utilities	Xcel Energy	Skating	13,390.93
0	04/28/2011	General Fund	Utilities	Xcel Energy	Traffic Signal & Street Lights	3,438.35
0	04/28/2011	Storm Drainage	Utilities	Xcel Energy	Storm Water-Arona Lift Station	114.42
0	04/28/2011	Water Fund	Utilities	Xcel Energy	2501 Fairview Water Tower	4,560.21
0	04/28/2011	General Fund	Utilities	Xcel Energy	Street Light	13,182.51
0	04/28/2011	General Fund	Contract Maintenance Vehicles	Emergency Apparatus Maint. Inc	Oilless Primer Motor	587.81
0	04/28/2011	General Fund	209001 - Use Tax Payable	Emergency Apparatus Maint. Inc	Sales/Use Tax	-37.81
0	04/28/2011	General Fund	Operating Supplies	Streicher's	Badge	5.33
0	04/28/2011	Police Forfeiture Fund	Professional Services	Streicher's	Badges	119.70
0	04/28/2011	Police Forfeiture Fund	Professional Services	Streicher's	Patches	205.07
0	04/28/2011	Recreation Fund	Contract Maintenance	Green View Inc.	Ice Arena Cleaning	3,554.49
0	04/28/2011	General Fund	Professional Services	Erickson, Bell, Beckman & Quinn P.A.	Civil Matters Through March 31, 201	12,875.00
0	04/28/2011	Water Fund	Operating Supplies	Fastenal Company Inc.	HCS 5/8	23.97
0	04/28/2011	General Fund	Office Supplies	Innovative Office Solutions	Office Supplies	2.76
0	04/28/2011	General Fund	Office Supplies	Innovative Office Solutions	Office Supplies	4.27
0	04/28/2011	General Fund	Office Supplies	Innovative Office Solutions	Office Supplies	114.16
0	04/28/2011	General Fund	Office Supplies	Innovative Office Solutions	Office Supplies	20.14
0	04/28/2011	Recreation Fund	Office Supplies	Innovative Office Solutions	Office Supplies	217.82
0	04/28/2011	Sanitary Sewer	Office Supplies	Innovative Office Solutions	Office Supplies	20.13
0	04/28/2011	Storm Drainage	Office Supplies	Innovative Office Solutions	Office Supplies	20.14
0	04/28/2011	Community Development	Office Supplies	Innovative Office Solutions	Office Supplies	173.92
0	04/28/2011	Water Fund	Water Meters	Ferguson Waterworks	Water Meter Supplies	562.21
0	04/28/2011	Water Fund	Water Meters	Ferguson Waterworks	Water Meter Supplies	527.11
0	04/28/2011	Sanitary Sewer	Operating Supplies	Ferguson Waterworks	Mechanical Glove	64.31
0	04/28/2011	Sanitary Sewer	Operating Supplies	Ferguson Waterworks	Flex CPLG	106.61
Check Total:						81,994.71
62270	04/20/2011	Water Fund	Accounts Payable	SUSAN BURKHART	Refund Check	17.05
Check Total:						17.05
62271	04/20/2011	Water Fund	Accounts Payable	CHARLOTTE CIRESI TRUST	Refund Check	40.83
Check Total:						40.83

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62272	04/20/2011	Water Fund	Accounts Payable	EDINA REALTY	Refund Check	14.92
Check Total:						14.92
62273	04/20/2011	Water Fund	Accounts Payable	JULIANNE GJERSTAD	Refund Check	50.76
Check Total:						50.76
62274	04/20/2011	Water Fund	Accounts Payable	ARLENE HIGGINS	Refund Check	9.58
62274	04/20/2011	Sanitary Sewer	Accounts Payable	ARLENE HIGGINS	Refund Check	17.73
Check Total:						27.31
62275	04/20/2011	Water Fund	Accounts Payable	ROBERT KAYONGO	Refund Check	83.20
Check Total:						83.20
62276	04/20/2011	Water Fund	Accounts Payable	OSCAR ALIAGA & MERY AMALIA ME	Refund Check	20.16
Check Total:						20.16
62277	04/20/2011	Police Forfeiture Fund	Professional Services	Metro Fire	XTS Radios, Neckbands	12,434.91
Check Total:						12,434.91
62278	04/20/2011	Water Fund	Accounts Payable	STEVEN MICHELS	Refund Check	17.32
62278	04/20/2011	Sanitary Sewer	Accounts Payable	STEVEN MICHELS	Refund Check	10.06
Check Total:						27.38
62279	04/20/2011	Police Forfeiture Fund	Professional Services	Motorola, Inc.	SWAT Radio's	10,249.18
Check Total:						10,249.18
62280	04/20/2011	Water Fund	Accounts Payable	EARLINE TRNKA	Refund Check	84.20
Check Total:						84.20
62281	04/20/2011	Water Fund	Accounts Payable	UNITED PROPERTIES RESDNTL LLC	Refund Check	66.58
Check Total:						66.58
62282	04/20/2011	Water Fund	Accounts Payable	KRISTIN ZERSE	Refund Check	82.58
62282	04/20/2011	Sanitary Sewer	Accounts Payable	KRISTIN ZERSE	Refund Check	7.01
62282	04/20/2011	Storm Drainage	Accounts Payable	KRISTIN ZERSE	Refund Check	2.03
62282	04/20/2011	Solid Waste Recycle	Accounts Payable	KRISTIN ZERSE	Refund Check	1.80
Check Total:						93.42
62283	04/21/2011	Equipment Replacement Fund	Other Improvements	Access Communications Inc	Oakcrest Project	2,133.56
62283	04/21/2011	Equipment Replacement Fund	Other Improvements	Access Communications Inc	ISD 623 Fiber Project	3,940.86
62283	04/21/2011	Information Technology	Contract Maintenance	Access Communications Inc	Commerce Trunk General Maintenance	158.02

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
					Check Total:	6,232.44
62284	04/21/2011	General Fund	Clothing	Aspen Mills Inc.	Pants	44.95
					Check Total:	44.95
62285	04/21/2011	Golf Course	Vehicle Supplies	BDI	Ball Bearings	172.58
62285	04/21/2011	Golf Course	Use Tax Payable	BDI	Sales/Use Tax	-11.10
					Check Total:	161.48
62286	04/21/2011	General Fund	Operating Supplies City Garage	Bertelson Total Office Solutions	Towels	153.05
62286	04/21/2011	General Fund	Op Supplies - City Hall	Bertelson Total Office Solutions	Roll Towels	228.63
					Check Total:	381.68
62287	04/21/2011	License Center	Contract Maintenance	Brite-Way Window Cleaning Sv	License Center Window Cleaning	29.00
					Check Total:	29.00
62288	04/21/2011	General Fund	Operating Supplies	Brother Mobile Solutions, Inc.	Thermal Paper	288.81
62288	04/21/2011	General Fund	209001 - Use Tax Payable	Brother Mobile Solutions, Inc.	Sales/Use Tax	-18.58
					Check Total:	270.23
62289	04/21/2011	General Fund	Non Business Licenses - Pawn	City of Minneapolis Receivables	Pawn Transaction Fees	1,232.40
					Check Total:	1,232.40
62290	04/21/2011	Charitable Gambling	Professional Services - Bingo	Cornell Kahler Shidell & Mair	Midway Speedskating-March Bingo	1,871.00
62290	04/21/2011	Charitable Gambling	Professional Services - Bingo	Cornell Kahler Shidell & Mair	RSVL Youth Hockey-March Bingo	2,449.00
					Check Total:	4,320.00
62291	04/21/2011	General Fund	Police Explorer Program	Grant Dattilo	Explorers Advisors Expense Reimbur	55.98
					Check Total:	55.98
62292	04/21/2011	Recreation Fund	Advertising	Dex Media East LLC	Yellow Pages Advertising	38.49
62292	04/21/2011	Golf Course	Advertising	Dex Media East LLC	Yellow Pages Advertising	38.49
					Check Total:	76.98
62293	04/21/2011	General Fund	211200 - Financial Support	Diversified Collection Services, Inc.		210.24
					Check Total:	210.24
62294	04/21/2011	Recreation Fund	Professional Services	Sharon Eaton	Preschool Programming	217.50
					Check Total:	217.50
62295	04/21/2011	Water Fund	Utility Billing Receivable	Jay Gagner	Assessment Payoff	77.31

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62296	04/21/2011	Recreation Fund	Professional Services	Christopher Hazelhurst	Check Total:	77.31
					Music Instruction	369.20
62297	04/21/2011	General Fund	Contract Maintenance	HealthEast Vehicle Services	Check Total:	369.20
					Side Light Bar Replacement	111.57
62297	04/21/2011	General Fund	Contract Maintenance	HealthEast Vehicle Services	Radar Repair	75.97
62298	04/21/2011	General Fund	211600 - PERA Employers Share	ICMA Retirement Trust 401-109956	Check Total:	187.54
					Payroll Deduction for 4/19 Payroll	538.83
62299	04/21/2011	General Fund	Printing	Impressive Print	Check Total:	538.83
					Envelopes	240.47
62300	04/21/2011	General Fund	Contract Maint. - City Garage	ISS Facility Services-Minneapolis, Inc.	Check Total:	240.47
					Cleaning-Public Works Building	1,095.47
62301	04/21/2011	General Fund	Police Explorer Program	Keepers Inc	Check Total:	1,095.47
					Shirt Patch	8.02
62302	04/21/2011	General Fund	Op Supplies - City Hall	Linn Building Maintenance	Check Total:	8.02
					Back Pack Vac	484.84
62302	04/21/2011	General Fund	Op Supplies - City Hall	Linn Building Maintenance	Cleaning Supplies	161.97
62303	04/21/2011	General Fund	210600 - Union Dues Deduction	Local Union 49	Check Total:	646.81
					Payroll Deduction for April Union Du	882.00
62304	04/21/2011	Boulevard Landscaping	Operating Supplies	M/A Associates	Check Total:	882.00
					Heavy Duty Liners	281.53
62305	04/21/2011	Information Technology	Contract Maintenance	McAfee, Inc.	Check Total:	281.53
					Disaster Recovery Service	195.00
62306	04/21/2011	Recreation Fund	Operating Supplies	Minnesota CNC	Check Total:	195.00
					Nature Play Registration Fee	38.00
62307	04/21/2011	General Fund	Professional Services	MMKR	Check Total:	38.00
					2010 Audit	11,000.00
					Check Total:	11,000.00

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62308	04/21/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	55.00
					Check Total:	55.00
62309	04/21/2011	Recreation Fund	Fee Program Revenue	Michelle Moore	Team Gymnastics Refund	136.00
62309	04/21/2011	Recreation Fund	Collected Insurance Fee	Michelle Moore	Team Gymnastics Refund	4.00
					Check Total:	140.00
62310	04/21/2011	General Fund	Vehicle Supplies	Motion Industries Inc	Powerband	684.35
					Check Total:	684.35
62311	04/21/2011	Recreation Fund	Professional Services	Multicare Associates	Vaccines, Audiograms	20.00
62311	04/21/2011	General Fund	Professional Services	Multicare Associates	Vaccines, Audiograms	551.00
62311	04/21/2011	Boulevard Landscaping	Professional Services	Multicare Associates	Vaccines, Audiograms	20.00
					Check Total:	591.00
62312	04/21/2011	General Fund	Vehicle Supplies	OSI Environmental Inc	Uncrushed Filters	235.00
					Check Total:	235.00
62313	04/21/2011	License Center	Office Supplies	Pakor, Inc.	Passport Folders	32.03
62313	04/21/2011	License Center	Use Tax Payable	Pakor, Inc.	Sales/Use Tax	-2.06
					Check Total:	29.97
62314	04/21/2011	Building Improvements	Skating Center MN Bonding Proj	Paragon Solutions Group, Inc.	Axis M301, Channel License	944.02
					Check Total:	944.02
62315	04/21/2011	Water Fund	Utility Billing Receivable	Alana Perris	Assessment Payoff	85.91
					Check Total:	85.91
62316	04/21/2011	General Fund	Operating Supplies	Petco Animal Supplies, Inc.	K9 Supplies	54.99
					Check Total:	54.99
62317	04/21/2011	Telecommunications	Postage	Postmaster- Cashier Window #5	Newsletter Postage-Acct 2437	2,400.00
					Check Total:	2,400.00
62318	04/21/2011	General Fund	211401- HSA Employee	Premier Bank	HSA	1,960.57
62318	04/21/2011	General Fund	211405 - HSA Employer	Premier Bank	HSA	3,837.69
62318	04/21/2011	General Fund	211405 - HSA Employer	Premier Bank	HSA	3,837.69
62318	04/21/2011	General Fund	211401- HSA Employee	Premier Bank	HSA	1,960.57
					Check Total:	11,596.52
62319	04/21/2011	General Fund	Contract Maint. - City Hall	Pro-Tec Design, Inc.	Vonduprin Power Supply	795.85

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
					Check Total:	795.85
62320	04/21/2011	General Fund	Operating Supplies	RAHS/Raider Grafix	Business Cards	106.88
62320	04/21/2011	General Fund	209001 - Use Tax Payable	RAHS/Raider Grafix	Sales/Use Tax	-6.88
					Check Total:	100.00
62321	04/21/2011	General Fund	Professional Services	Ramsey County	Fleet Support-March	506.24
62321	04/21/2011	General Fund	Operating Supplies	Ramsey County	Brine Solution	80.66
					Check Total:	586.90
62322	04/21/2011	General Fund	Professional Services	Ramsey County Recorder	Easement Filing Fee-Snelling Ave	46.00
62322	04/21/2011	General Fund	Professional Services	Ramsey County Recorder	Easement Filing Fee-John Robinson	46.00
					Check Total:	92.00
62323	04/21/2011	General Fund	Contract Maintenance Vehicles	Rosedale Chevrolet	Electrical System Repair	847.06
					Check Total:	847.06
62324	04/21/2011	General Fund	Operating Supplies	Ken Schroepfer	Supplies Reimbursement	28.88
					Check Total:	28.88
62325	04/21/2011	General Fund	Professional Services	David Schultz	Ethics Training	500.00
					Check Total:	500.00
62326	04/21/2011	Street Construction	2011 PMP	SGC Horizon, LLC	Pavement Management Project	189.00
					Check Total:	189.00
62327	04/21/2011	General Fund	Training	Maureen Sikorra	Training Expenses Reimbursement	39.66
					Check Total:	39.66
62328	04/21/2011	General Fund Donations	K-9 Supplies	St. Paul Police K9 Foundation	Training Fee	4,000.00
					Check Total:	4,000.00
62329	04/21/2011	General Fund	211200 - Financial Support	Steward, Zlimen & Jungers, LTD	Case #: 09-06243-0	68.90
					Check Total:	68.90
62330	04/21/2011	General Fund	Operating Supplies	Stop Tech, LTD., Inc.	Replacement Sticks	239.29
62330	04/21/2011	General Fund	209001 - Use Tax Payable	Stop Tech, LTD., Inc.	Sales/Use Tax	-15.39
					Check Total:	223.90
62331	04/21/2011	General Fund	Professional Services	Sheila Stowell	City Council Meeting Minutes	339.25
62331	04/21/2011	General Fund	Professional Services	Sheila Stowell	Mileage Reimbursement	4.44

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62331	04/21/2011	Community Development	Professional Services	Sheila Stowell	Planning Commission Meeting Minut	281.75
62331	04/21/2011	Community Development	Professional Services	Sheila Stowell	Mileage Reimbursement	4.44
Check Total:						629.88
62332	04/21/2011	General Fund	Vehicle Supplies	Suburban Tire Wholesale, Inc.	Assurance Feulmax	724.96
Check Total:						724.96
62333	04/21/2011	General Fund	Other Improvements	Sun Control of Minnesota, Inc	Eyebrow Film Installation	259.00
Check Total:						259.00
62334	04/21/2011	Boulevard Landscaping	Operating Supplies	Trugreen L.P.	2011 Blanket PO for Right of Way Wi	85.50
Check Total:						85.50
62335	04/21/2011	General Fund Donations	K-9 Supplies	U of M Veterinary Medical Center	Boarding Fee	52.80
62335	04/21/2011	General Fund Donations	K-9 Supplies	U of M Veterinary Medical Center	Boarding Fee	52.80
62335	04/21/2011	General Fund Donations	K-9 Supplies	U of M Veterinary Medical Center	Boarding Fee	121.20
Check Total:						226.80
62336	04/21/2011	Recreation Fund	Professional Services	Kristina Van Deusen	Assistant Dance Instructor	30.00
Check Total:						30.00
62337	04/27/2011	Police Forfeiture Fund	Professional Services	Motorola Solutions, Inc.	Software, Batteries	7,370.32
Check Total:						7,370.32
62338	04/28/2011	Water Fund	Operating Supplies	2X Software, LLC	Application Server	203.06
62338	04/28/2011	Water Fund	Use Tax Payable	2X Software, LLC	Sales/Use Tax	-13.06
62338	04/28/2011	Sanitary Sewer	Operating Supplies	2X Software, LLC	Application Server	203.06
62338	04/28/2011	General Fund	Op Supplies - City Hall	2X Software, LLC	Application Server	203.06
62338	04/28/2011	Storm Drainage	Professional Services	2X Software, LLC	Application Server	203.06
62338	04/28/2011	Sanitary Sewer	Use Tax Payable	2X Software, LLC	Sales/Use Tax	-13.06
62338	04/28/2011	General Fund	209001 - Use Tax Payable	2X Software, LLC	Sales/Use Tax	-13.06
62338	04/28/2011	Storm Drainage	Use Tax Payable	2X Software, LLC	Sales/Use Tax	-13.06
Check Total:						760.00
62339	04/28/2011	Recreation Fund	Professional Services	3rd Lair SkatePark	Summer Camp Deposit	600.00
Check Total:						600.00
62340	04/28/2011	Information Technology	Contract Maintenance	Access Communications Inc	Rice Street Reconstruction	120.52
62340	04/28/2011	Equipment Replacement Fund	Other Improvements	Access Communications Inc	Ground Bus Bar Installation-Harambe	657.73
62340	04/28/2011	Equipment Replacement Fund	Other Improvements	Access Communications Inc	Wall Mount Panel-Harambee Elem.	649.52
62340	04/28/2011	Equipment Replacement Fund	Other Improvements	Access Communications Inc	Emergency Connection	1,571.84

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62341	04/28/2011	Telecommunications	Operating Supplies	AE Sign Systems, Inc.	Check Total:	2,999.61
					Badges	74.81
62342	04/28/2011	Water Fund	Operating Supplies	Aggregate Industries-Midwest Region	Check Total:	74.81
					Finance Charge	12.61
62343	04/28/2011	General Fund	Operating Supplies	Alert All Corp.	Check Total:	12.61
					Catalogs, Brochures, Coloring Books	492.96
62343	04/28/2011	General Fund	209001 - Use Tax Payable	Alert All Corp.	Sales/Use Tax	-31.71
62344	04/28/2011	General Fund	First Responder Training	Allina Hospitals & Clinics	Check Total:	461.25
					Healthcare Provider Cards	198.39
62344	04/28/2011	General Fund	209001 - Use Tax Payable	Allina Hospitals & Clinics	Sales/Use Tax	-12.76
62345	04/28/2011	Police Forfeiture Fund	Professional Services	American Messaging	Check Total:	185.63
					Interpreter Service	94.71
62346	04/28/2011	Community Development	Memberships & Subscriptions	American Planning Association	Check Total:	94.71
					Annual Membership-Trudgeon	545.00
62347	04/28/2011	Water Fund	Operating Supplies	Barton Sand & Gravel Co.	Check Total:	545.00
					Select Granular	322.31
62347	04/28/2011	Water Fund	Operating Supplies	Barton Sand & Gravel Co.	Select Granular	908.62
62348	04/28/2011	General Fund	Operating Supplies	Batteries Plus, Inc.	Check Total:	1,230.93
					Alkaline, Lithium Batteries	191.39
62348	04/28/2011	General Fund	Vehicle Supplies	Batteries Plus, Inc.	Alkaline Batteries	83.11
62349	04/28/2011	Golf Course	Vehicle Supplies	BDI	Check Total:	274.50
					Ball Bearings	47.07
62349	04/28/2011	Golf Course	Use Tax Payable	BDI	Sales/Use Tax	-3.03
62349	04/28/2011	Recreation Fund	Operating Supplies	BDI	Oil Seals	36.72
62350	04/28/2011	Water Fund	Accounts Payable	RAYMOND BERGSTROM	Check Total:	80.76
					Refund Check	31.91
62350	04/28/2011	Sanitary Sewer	Accounts Payable	RAYMOND BERGSTROM	Refund Check	3.59
62351	04/28/2011	General Fund	Contract Maintenance Vehicles	Boyer Trucks, Corp.	Check Total:	35.50
					2011 Blanket PO for Vehicle Repairs	3,528.36

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						3,528.36
62352	04/28/2011	General Fund	Professional Services	Brighton Veterinary Hospital	Animal Control-Jan/Feb 2011	1,300.00
Check Total:						1,300.00
62353	04/28/2011	Golf Course	Green Fees	Pat Bucholz	Ladies League Registration Refund	16.00
Check Total:						16.00
62354	04/28/2011	Water Fund	Accounts Payable	GARY & LEE CARLSON & KOCHENDC	Refund Check	105.76
62354	04/28/2011	Sanitary Sewer	Accounts Payable	GARY & LEE CARLSON & KOCHENDC	Refund Check	15.07
62354	04/28/2011	Storm Drainage	Accounts Payable	GARY & LEE CARLSON & KOCHENDC	Refund Check	3.97
62354	04/28/2011	Solid Waste Recycle	Accounts Payable	GARY & LEE CARLSON & KOCHENDC	Refund Check	4.56
Check Total:						129.36
62355	04/28/2011	Information Technology	Contract Maintenance	CDW	Phone System Contract Maint-2011	4,000.00
Check Total:						4,000.00
62356	04/28/2011	Information Technology	Computer Equipment	CDW Government, Inc.	Switch Module-Skating Center	307.27
62356	04/28/2011	Information Technology	Operating Supplies	CDW Government, Inc.	Exp Module 9971 Phone	304.20
Check Total:						611.47
62357	04/28/2011	General Fund	211402 - Flex Spending Health		Flexible Benefit Reimbursement	118.36
Check Total:						118.36
62358	04/28/2011	General Fund	Non Business Licenses - Pawn	City of Minneapolis Receivables	Transaction Fees-Feb 2011	888.00
Check Total:						888.00
62359	04/28/2011	Information Technology	Telephone	City of North St. Paul	Telephone Service	600.00
62359	04/28/2011	Information Technology	Telephone	City of North St. Paul	Telephone Service	1,900.00
Check Total:						2,500.00
62360	04/28/2011	Recreation Fund	Operating Supplies	City of Shoreview	School's Out Camp Expenses	836.67
Check Total:						836.67
62361	04/28/2011	Golf Course	Merchandise For Sale	Coca Cola Bottling Company	Beverages for Resale	842.75
Check Total:						842.75
62362	04/28/2011	General Fund	Memberships & Subscriptions	Crime Stoppers of Minnesota	Law Enforcement Partnership-2011	150.00
Check Total:						150.00
62363	04/28/2011	Police Forfeiture Fund	Professional Services	Driver & Vehicle Services	Unmarked Squad License Plates	381.50

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						381.50
62364	04/28/2011	Golf Course	Operating Supplies	Dunn Bros Coffee	Golf League Prizes	400.00
Check Total:						400.00
62365	04/28/2011	Sanitary Sewer	Postage	Ecoenvelopes, LLC	Utility Billing Section #001	300.33
62365	04/28/2011	Water Fund	Postage	Ecoenvelopes, LLC	Utility Billing Section #001	300.34
62365	04/28/2011	Storm Drainage	Postage	Ecoenvelopes, LLC	Utility Billing Section #001	300.33
62365	04/28/2011	Sanitary Sewer	Operating Supplies	Ecoenvelopes, LLC	#10 ecoEnvelopes	698.64
62365	04/28/2011	Water Fund	Operating Supplies	Ecoenvelopes, LLC	#10 ecoEnvelopes	698.64
62365	04/28/2011	Storm Drainage	Operating Supplies	Ecoenvelopes, LLC	#10 ecoEnvelopes	698.65
Check Total:						2,996.93
62366	04/28/2011	General Fund	Operating Supplies	Fed Ex	Shipping Cost	40.75
Check Total:						40.75
62367	04/28/2011	General Fund	Training	Mark Ganley	Lunch During Training Reimburseme	51.56
Check Total:						51.56
62368	04/28/2011	Sanitary Sewer	Operating Supplies	General Industrial Supply Co.	Proto 1-11/16	33.49
62368	04/28/2011	Sanitary Sewer	Operating Supplies	General Industrial Supply Co.	Urathane Dip Gloves	101.57
62368	04/28/2011	Sanitary Sewer	Operating Supplies	General Industrial Supply Co.	Long Handle Shovel	107.06
62368	04/28/2011	Sanitary Sewer	Operating Supplies	General Industrial Supply Co.	Chain, Hook, Sling	777.11
Check Total:						1,019.23
62369	04/28/2011	Water Fund	Contract Maintenance	General Repair Service, Corp	Split Rotating Assembly	2,968.86
Check Total:						2,968.86
62370	04/28/2011	Water Fund	Professional Services	Goldstar Electric Inc	Circuit and Sub Panel Installation	1,879.00
62370	04/28/2011	Water Fund	Professional Services	Goldstar Electric Inc	Antenna Control Box Installation	163.00
62370	04/28/2011	Sanitary Sewer	Professional Services	Goldstar Electric Inc	Antenna Control Box Installation	163.00
62370	04/28/2011	Storm Drainage	Professional Services	Goldstar Electric Inc	Antenna Control Box Installation	163.00
62370	04/28/2011	Water Fund	Professional Services	Goldstar Electric Inc	Labor on Motor	255.00
Check Total:						2,623.00
62371	04/28/2011	Community Development	Building Permits	Hage Construction	Valuation Difference Refund-416 Mct	81.20
Check Total:						81.20
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	6" x 12" #226 SS Repair Clamp	1,333.50
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	6" x 15" #226 SS Repair Clamp	206.60
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	8" x 12" #226 SS Repair Clamp	1,065.00

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	8" x 15" #226 SS Repair Clamp	126.90
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	12" x 12" #226 SS Repair Clamp	587.60
62372	04/28/2011	Water Fund	Operating Supplies	HD Supply Waterworks, LTD.	Sales Tax	233.20
Check Total:						3,552.80
62373	04/28/2011	Risk Management	Police Patrol Claims	HealthEast Vehicle Services	Equipment Removal from Damaged 5	158.00
62373	04/28/2011	Risk Management	Police Patrol Claims	HealthEast Vehicle Services	Equipment Removal from Damaged 5	317.33
Check Total:						475.33
62374	04/28/2011	General Fund	Training	Hennepin Technical College	Firearms Class-Johnson	892.50
Check Total:						892.50
62375	04/28/2011	Information Technology	Computer Equipment	Hewlett-Packard Company	Replacement Monitors	910.58
62375	04/28/2011	Information Technology	Computer Equipment	Hewlett-Packard Company	Replacement Computer	1,261.12
Check Total:						2,171.70
62376	04/28/2011	General Fund	Operating Supplies	Highway Technologies, Inc.	Cones, Signs	491.49
62376	04/28/2011	Storm Drainage	Operating Supplies	Highway Technologies, Inc.	Cones, Signs	333.00
62376	04/28/2011	Water Fund	Operating Supplies	Highway Technologies, Inc.	Cones, Signs	333.00
Check Total:						1,157.49
62377	04/28/2011	General Fund	Professional Services	Hildi, Inc	GASB 45 Update	820.00
Check Total:						820.00
62378	04/28/2011	Recreation Fund	Operating Supplies	Ice Skating Institute	Badges	33.39
62378	04/28/2011	Recreation Fund	Use Tax Payable	Ice Skating Institute	Sales/Use Tax	-2.15
Check Total:						31.24
62379	04/28/2011	Telephone	Telephone	Integra Telecom	Telephone	308.46
Check Total:						308.46
62380	04/28/2011	General Fund	Memberships & Subscriptions	Intl Association of Chiefs of Police	Membership Dues-Mathwig	120.00
Check Total:						120.00
62381	04/28/2011	General Fund	Memberships & Subscriptions	IPMA-HR Minnesota	Meeting Fees-Bacon	25.00
Check Total:						25.00
62382	04/28/2011	General Fund	Police Explorer Program	Keepers Inc	Shirt Patches	12.83
Check Total:						12.83
62383	04/28/2011	Water Fund	Accounts Payable	MARY LYNN KITTELSON	Refund Check	12.47

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						12.47
62384	04/28/2011	General Fund	Vehicle Supplies	Larson Companies	Credit	-5.78
62384	04/28/2011	General Fund	Vehicle Supplies	Larson Companies	Filters	121.22
62384	04/28/2011	General Fund	Vehicle Supplies	Larson Companies	Filter	8.43
Check Total:						123.87
62385	04/28/2011	Police Forfeiture Fund	Professional Services	Lenco Armored Vehicles	Part No: BCTI Thermal Image & Col	30,916.46
62385	04/28/2011	Police Forfeiture Fund	Use Tax Payable	Lenco Armored Vehicles	Sales/Use Tax	-1,988.78
Check Total:						28,927.68
62386	04/28/2011	General Fund	Operating Supplies	LexisNexis Occ. Health Solutions	Person Searches	64.95
Check Total:						64.95
62387	04/28/2011	Community Development	Advertising	Lillie Suburban Newspaper Inc	Notices	38.25
62387	04/28/2011	General Fund	Advertising	Lillie Suburban Newspaper Inc	Notices	142.39
Check Total:						180.64
62388	04/28/2011	General Fund	Professional Services	Martin McAllister, Inc.	Police/Fire Psychological Assessment	800.00
Check Total:						800.00
62389	04/28/2011	Boulevard Landscaping	Contract Maintenance	McCaren Designs, Inc.	2011 Contractual Mowing and litter p	7,188.12
Check Total:						7,188.12
62390	04/28/2011	General Fund	Vehicle Supplies	McDonald Battery Co Inc.	12 Volt Battery	224.44
62390	04/28/2011	General Fund	Vehicle Supplies	McDonald Battery Co Inc.	Deep Cycle Gel	95.12
62390	04/28/2011	General Fund	Vehicle Supplies	McDonald Battery Co Inc.	PC-1500	235.13
Check Total:						554.69
62391	04/28/2011	General Fund	Vehicle Supplies	Meyer Enterprises	2011 Blanket PO for Vehicle Repairs	251.16
Check Total:						251.16
62392	04/28/2011	Recreation Fund	Printing	Minnesota Women's Press, Inc.	Arts @ the Oval Ad	262.00
Check Total:						262.00
62393	04/28/2011	General Fund	Contract Maintenance	Mn Dept of Labor & Industry	Pressure Vessel	10.00
Check Total:						10.00
62394	04/28/2011	General Fund Donations	Supplies - Target Corp Grant	MN Law Enforcement Explorers Assoc.	Explorer Conference	1,474.00
Check Total:						1,474.00

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
62395	04/28/2011	Water Fund	Accounts Payable	THOMAS MULROONEY	Refund Check	0.21
Check Total:						0.21
62396	04/28/2011	Water Fund	Accounts Payable	THOMAS MULROONEY	Refund Check	33.28
62396	04/28/2011	Sanitary Sewer	Accounts Payable	THOMAS MULROONEY	Refund Check	26.47
62396	04/28/2011	Storm Drainage	Accounts Payable	THOMAS MULROONEY	Refund Check	7.36
62396	04/28/2011	Solid Waste Recycle	Accounts Payable	THOMAS MULROONEY	Refund Check	5.81
Check Total:						72.92
62397	04/28/2011	Golf Course	Green Fees	Barbara Nash	Ladies League Registration Refund	16.00
Check Total:						16.00
62398	04/28/2011	Recreation Fund	Contract Maintenance	Printers Service Inc	Ice Knife Sharpening	165.00
Check Total:						165.00
62399	04/28/2011	Telephone	Telephone	Qwest	Telephone	21.38
62399	04/28/2011	Telephone	Telephone	Qwest	Telephone	39.04
62399	04/28/2011	Telephone	Telephone	Qwest	Telephone	101.64
Check Total:						162.06
62400	04/28/2011	Telephone	Telephone	Qwest Communications	Telephone	177.38
Check Total:						177.38
62401	04/28/2011	Recreation Fund	Fee Program Revenue	Jorge Radilla	Deposit Refund	25.00
Check Total:						25.00
62402	04/28/2011	General Fund	Dispatching Services	Ramsey County	911 Dispatch Service-Jan 2011	18,901.85
62402	04/28/2011	General Fund	Dispatching Services	Ramsey County	911 Dispatch Service-Feb 2011	18,901.85
62402	04/28/2011	General Fund	Dispatching Services	Ramsey County	911 Dispatch Service-March	18,901.85
62402	04/28/2011	General Fund	Professional Services	Ramsey County	Fleet Support-Jan 2011	506.24
62402	04/28/2011	General Fund	Professional Services	Ramsey County	Fleet Support-Feb 2011	506.24
Check Total:						57,718.03
62403	04/28/2011	Community Development	Professional Services	Ramsey County Recorder	Recording Fee 2005	46.00
62403	04/28/2011	Community Development	Professional Services	Ramsey County Recorder	Copy Charges	10.00
Check Total:						56.00
62404	04/28/2011	Recreation Fund	Training	RETA Northern Plains Chapter	Ammonia Awareness Training-Brown	35.00
Check Total:						35.00
62405	04/28/2011	Sanitary Sewer	Professional Services	Rock Mills Enterprise, Inc.	Lifter Rebuild	150.00

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						150.00
62406	04/28/2011	Recreation Fund	Spectator Admissions	Roseville Area High School	Share of Hockey Revenues-2010-11 S	8,329.50
Check Total:						8,329.50
62407	04/28/2011	Police Forfeiture Fund	Professional Services	Roseville Chrysler Jeep Dodge	Level Kit	189.81
62407	04/28/2011	General Fund	Contract Maintenance Vehicles	Roseville Chrysler Jeep Dodge	Vehicle Repair	22.31
Check Total:						212.12
62408	04/28/2011	Housing & Redevelopment Agency	Advertising	Service Printers of Duluth, Inc.	NEP Program Flyers	2,878.44
62408	04/28/2011	Housing & Redevelopment Agency	Use Tax Payable	Service Printers of Duluth, Inc.	Sales/Use Tax	-185.16
Check Total:						2,693.28
62409	04/28/2011	General Fund	Memberships & Subscriptions	SPAN Publishing Inc.	Natl Law Enforcement Directory	152.10
Check Total:						152.10
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	226.93
62410	04/28/2011	Storm Drainage	Telephone	Sprint	Cell Phones	191.48
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	28.55
62410	04/28/2011	Sanitary Sewer	Telephone	Sprint	Cell Phones	108.81
62410	04/28/2011	Recreation Fund	Telephone	Sprint	Cell Phones	208.78
62410	04/28/2011	Recreation Fund	Telephone	Sprint	Cell Phones	42.68
62410	04/28/2011	P & R Contract Maintenance	Telephone	Sprint	Cell Phones	110.19
62410	04/28/2011	Golf Course	Telephone	Sprint	Cell Phones	26.02
62410	04/28/2011	Community Development	Telephone	Sprint	Cell Phones	88.28
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	12.16
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	12.16
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	36.47
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	169.30
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	238.91
62410	04/28/2011	General Fund	Telephone	Sprint	Cell Phones	378.80
Check Total:						1,879.52
62411	04/28/2011	Information Technology	Contract Maintenance	St. Croix Solutions	VM Servers Software Maint-2011	1,266.80
Check Total:						1,266.80
62412	04/28/2011	Water Fund	St. Paul Water	St. Paul Regional Water Services	Water	302,197.00
Check Total:						302,197.00
62413	04/28/2011	General Fund	Operating Supplies	Staples Business Advantage, Inc.	Toner	101.38

Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						101.38
62414	04/28/2011	General Fund	Professional Services	State of MN BCA	RVA, RVC, RVE	840.00
Check Total:						840.00
62415	04/28/2011	General Fund	Professional Services	Sheila Stowell	City Council Meeting Minutes	339.25
62415	04/28/2011	General Fund	Professional Services	Sheila Stowell	Mileage Reimbursement	4.44
Check Total:						343.69
62416	04/28/2011	Police Forfeiture Fund	Professional Services	Suburban Ace Hardware	Roll Call Room Supplies	20.82
62416	04/28/2011	Police Forfeiture Fund	Professional Services	Suburban Ace Hardware	Roll Call Room Supplies	12.38
62416	04/28/2011	Police Forfeiture Fund	Professional Services	Suburban Ace Hardware	Credit	-6.19
62416	04/28/2011	Police Forfeiture Fund	Professional Services	Suburban Ace Hardware	Roll Call Room Supplies	8.53
62416	04/28/2011	General Fund	Operating Supplies	Suburban Ace Hardware	Key	6.38
Check Total:						41.92
62417	04/28/2011	General Fund	Vehicle Supplies	Suburban Tire Wholesale, Inc.	Gator ATV Rear	610.98
62417	04/28/2011	General Fund	Vehicle Supplies	Suburban Tire Wholesale, Inc.	Eagle RS-A	319.02
Check Total:						930.00
62418	04/28/2011	Golf Course	Green Fees	Margaret Sullivan	Ladies League Refund	16.00
Check Total:						16.00
62419	04/28/2011	Water Fund	Operating Supplies	T. A. Schifsky & Sons, Inc.	Asphalt	952.92
Check Total:						952.92
62420	04/28/2011	General Fund	209001 - Use Tax Payable	Taser International, Inc.	Sales/Use Tax	-55.68
62420	04/28/2011	General Fund	Operating Supplies	Taser International, Inc.	X26 Kit, Handle	865.63
Check Total:						809.95
62421	04/28/2011	Police Vehicle Revolving	Vehicles & Equipment	Thane Hawkins Polar Chevrolet	2011 Chev Tahoe Police Pursuit Vehic	51,039.10
Check Total:						51,039.10
62422	04/28/2011	Water Fund	Accounts Payable	PATRICIA L. & JOHN R. TOENIES	Refund Check	30.36
Check Total:						30.36
62423	04/28/2011	Boulevard Landscaping	Operating Supplies	Trugreen L.P.	2011 Blanket PO for Right of Way Wi	432.86
62423	04/28/2011	Boulevard Landscaping	Operating Supplies	Trugreen L.P.	2011 Blanket PO for Right of Way Wi	154.98
Check Total:						587.84
62424	04/28/2011	Water Fund	Professional Services	Twin City Water Clinic, Inc.	Coliform Bacteria Test-Jan 2011	320.00

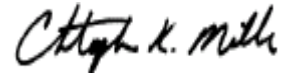
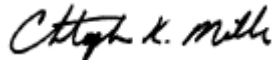
Check Number	Check Date	Fund Name	Account Name	Vendor Name	Invoice Desc.	Amount
Check Total:						320.00
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Body Armor	1,111.99
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Body Armor	1,137.49
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Pants	7.50
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Jacket, Patches	149.00
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Holster	166.19
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Pants	74.50
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Shirts, Pants	188.52
62425	04/28/2011	General Fund	Clothing	Uniforms Unlimited, Inc.	Shirts	220.90
Check Total:						3,056.09
62426	04/28/2011	Sanitary Sewer	Operating Supplies	United Rentals Northwest, Inc.	Caution Tape	9.46
Check Total:						9.46
62427	04/28/2011	Golf Course	Merchandise For Sale	Bob Vaaler	Jar of Golf Balls for Resale	150.00
Check Total:						150.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,916.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,651.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,013.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,684.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,324.00
62428	04/28/2011	Water Fund	Professional Services	Valley-Rich Co., Inc.	Equipment Rental	1,258.00
Check Total:						8,846.00
62429	04/28/2011	General Fund	Vehicle Supplies	Vermeer Sales and Service, Corp.	Sprocket, Chain	3,333.23
Check Total:						3,333.23
62430	04/28/2011	Water Fund	Professional Services	Water Conservation Service, Inc.	Leak Location	483.15
62430	04/28/2011	Water Fund	Professional Services	Water Conservation Service, Inc.	Leak Location	210.20
62430	04/28/2011	Water Fund	Professional Services	Water Conservation Service, Inc.	Leak Location	425.50
Check Total:						1,118.85
Report Total:						802,783.29

REQUEST FOR COUNCIL ACTION

Date: 05-09-11
Item No.: 7 . b

Department Approval

Acting City Manager Approval



Item Description: Set a Public Hearing to Consider Outback Steakhouse of Florida's application for On-Sale and Sunday Intoxicating Liquor License

Background

Outback Steakhouse of Florida, LLC has applied for an On-Sale and Sunday Intoxicating Liquor License at 2181 Snelling Ave N. The Outback Midwest II, LP has transferred ownership to its sole general partner Outback Steakhouse of Florida, LLC.

The City Attorney will review the application prior to the issuance of the license to ensure that it is in order. A representative from Outback Steakhouse will attend the hearing to answer any questions the Council may have.

Financial Implications

The revenue that is generated from the license fees collected is used to offset the cost of police compliance checks, background investigations, enforcement of liquor laws, and license administration.

Council Action

Motion to set a public hearing for On-Sale & Sunday Intoxicating Liquor License for Outback Steakhouse of Florida, LLC. dba Outback Steakhouse to be held on May 23,2011.

Prepared by: Chris Miller, Finance Director
Attachments: A: Application



**Minnesota Department of Public Safety
Alcohol and Gambling Enforcement Division (AGED)**
444 Cedar Street, Suite 222, St. Paul, MN 55101-5133
Telephone 651-201-7507 Fax 651-297-5259 TTY 651-282-6555

Certification of an On Sale Liquor License, 3.2% Liquor license, or Sunday Liquor License

Cities and Counties: You are required by law to complete and sign this form to certify the issuance of the following liquor license types:

- 1) City issued on sale intoxicating and Sunday liquor licenses
- 2) City and County issued 3.2% on and off sale malt liquor licenses

Name of City or County Issuing Liquor License City of Roseville License Period From: 1/1/2011 To: 12/31/2011

Circle One: New License License Transfer Outback/Midwest II Suspension Revocation Cancel _____
(former licensee name) (Give dates)

License type: (circle all that apply) On Sale Intoxicating Sunday Liquor 3.2% On sale 3.2% Off Sale

Fee(s): On Sale License fee: \$ _____ Sunday License fee: \$ _____ 3.2% On Sale fee: \$ _____ 3.2% Off Sale fee: \$ _____

Licensee Name: Outback Steakhouse of Florida, LLC DOB _____ Social Security # _____
(corporation, partnership, LLC, or Individual)

Business Trade Name Outback Steakhouse Business Address 2181 Snelling Avenue N City Roseville

Zip Code 55113 County Ramsey Business Phone (651) 697-1224 Home Phone _____

Home Address 2202 N. West Shore Blvd. City Tampa, FL 33607 Licensee's MN Tax ID # _____
5th Floor (To Apply call 651-296-6181)

Licensee's Federal Tax ID # _____
(To apply call IRS 800-829-4933)

If above named licensee is a corporation, partnership, or LLC, complete the following for each partner/officer:

Dirk A. Montgomery, CFO

Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address
<u>Joseph J. Kadow, Exec. Vice President</u>			

Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address

Partner/Officer Name (First Middle Last)	DOB	Social Security #	Home Address

Intoxicating liquor licensees must attach a certificate of Liquor Liability Insurance to this form. The insurance certificate must contain all of the following:

- 1) Show the exact licensee name (corporation, partnership, LLC, etc) and business address as shown on the license.
- 2) Cover completely the license period set by the local city or county licensing authority as shown on the license.

Circle One: (Yes No) During the past year has a summons been issued to the licensee under the Civil Liquor Liability Law?

Workers Compensation Insurance is also required by all licensees: Please complete the following:

Workers Compensation Insurance Company Name: The Charter Oak Fire Insurance Co. Policy # TC20UB395J499509

I Certify that this license(s) has been approved in an official meeting by the governing body of the city or county.

City Clerk or County Auditor Signature _____ Date _____
(title)

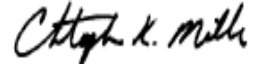
On Sale Intoxicating liquor licensees must also purchase a \$20 Retailer Buyers Card. To obtain the application for the Buyers Card, please call 651-201-7504, or visit our website at www.dps.state.mn.us.

REQUEST FOR COUNCIL ACTION

Date: May 9, 2011
Item No.: 7 . C

Department Approval

Acting City Manager Approval



Item Description: **Approve Application for Minnesota Department of Commerce
Auto Theft Prevention Program Grant**

BACKGROUND

The Minnesota Department of Commerce Division of Insurance Fraud Prevention has opened up grant funding intended to reduce motor vehicle theft and its effect on victims in the State of Minnesota. This funding is to be used for programs that aid in the reduction of automobile thefts, increase public education and awareness, respond to automobile theft incidents, and prosecute offenders.

The Roseville Police Department has been, and is committed to reducing auto theft and theft from autos in Roseville. Special impact teams have been assigned (with grant funding) to specifically focus on auto theft and theft from autos—ongoing problems in Roseville because of the amount of retail business in the city.

A new technology has been developed that captures license plate numbers automatically while an officer is on routine patrol. The automatic license plate reader (ALPR) system is designed to catch stolen or scofflaw vehicles—cars registered to owners with suspended licenses, unpaid fines or serious infractions such as DWI's. Alarms unique to each offense sound whenever the system scans a plate registered in the MN Bureau of Criminal Apprehension's database of stolen and scofflaw vehicles. A computerized voice identifies the infraction.

POLICY OBJECTIVE

The Roseville Police Department is seeking funding to purchase an automatic license plate reader system to deploy in its unmarked traffic squad in its ongoing efforts to reduce auto theft and theft from autos in the City.

BUDGET IMPLICATIONS

There is no local match requirement for the auto theft prevention grant funding.

STAFF RECOMMENDATION

The police department is recommending it be allowed to apply for funding through the Minnesota Department of Commerce Division of Insurance Fraud Prevention to purchase an

27 automatic license plate reader system (cost approximately \$25,000) to deploy in its unmarked
28 traffic squad in its ongoing efforts to reduce auto theft and thefts from auto in the City.

29 **REQUESTED COUNCIL ACTION**

30 The police department requests Council approval to apply for funding through the Minnesota
31 Department of Commerce Division of Insurance Fraud Prevention to purchase an automatic
32 license plate reader system (cost approximately \$25,000) to deploy in its unmarked traffic squad
33 in its ongoing efforts to reduce auto theft and thefts from autos in the City.

Prepared by: Karen Rubey
Attachments:

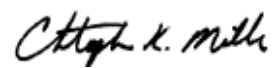
REQUEST FOR COUNCIL ACTION

Date: 5/9/11
Item No.: 7 . d

Department Approval



Acting City Manager Approval



Item Description: Adopt Resolution of Support for Transportation Funding as Requested by the Regional Council of Mayors

BACKGROUND

The Mayor received a request from the Regional Council of Mayors for support of a resolution requesting the Legislature to keep transportation funding a high priority, especially for public transportation modes. Attached is the requested resolution in support of transportation funding. Transportation improvements are supported in the Imagine Roseville 2025 visioning document as well as the Comprehensive Plan. Further development of transit opportunities for Roseville residents and visitors is also on the Council's current work plan.

POLICY OBJECTIVE

Improve transportation alternatives for Roseville residents and visitors.

BUDGET IMPLICATIONS

Support of this request has no immediate budget implications.

STAFF RECOMMENDATION

Staff recommends that the City Council support the attached resolution in support of transportation funding for signature by the Mayor.

REQUESTED COUNCIL ACTION

Adoption of a resolution of support for Transportation Funding as requested by the Regional Council of Mayors.

Prepared by: Duane Schwartz, Public Works Director

Attachments: A: Resolution

**EXTRACT OF MINUTES OF MEETING
OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

* * * * *

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota was duly held on the 9th day of May, 2011, at 6:00 p.m.

The following members were present:

and the following were absent: .

Member introduced the following resolution and moved its adoption:

RESOLUTION No.

**RESOLUTION APPROVING THE REQUEST BY THE REGIONAL COUNCIL
OF MAYORS FOR TRANSPORTATION FUNDING**

WHEREAS, the Regional Council of Mayors (“RCM”), is composed of the mayors of Minneapolis, St. Paul and approximately 45 municipalities in the developed and developing suburbs. The collaborative partnership provides a non-partisan platform focused on building action strategies to raise overall economic competitiveness, accelerate innovation and improve the quality of life in the MSP region; and

WHEREAS, our present levels of congestion and our unsafe roads hinder our economic prosperity, erode our quality of life, and complicate numerous aspects of living and doing business in Minnesota; and

WHEREAS, one million additional people are expected to move to the MSP metropolitan region in the next two decades, further exacerbating our already unacceptable traffic congestion; and

WHEREAS, solving our region’s transportation problem is a complex and long-term challenge that will require various strategies; and

WHEREAS, Minnesota needs to adequately and strategically expand both its transit and road systems with predictable, adequate, and long-term sources of funding; and

WHEREAS, transportation funding must prioritize public transit within a comprehensive, multi-modal, interconnected transportation system that serves the 11-county metro area; and that our planned light rail and commuter rail lines, along with expanded bus service,

46 both regular route and BRT, must be expanded to support the population and businesses
47 in our fast-growing region; and
48

49 WHEREAS, courageous and visionary legislative leadership is vital to forging a
50 sustainable, long-term transportation plan for our state and region.
51

52
53 NOW, THEREFORE, BE IT RESOLVED, that as elected leaders representing cities in
54 Minnesota's fast-growing 11-county metropolitan region, we hereby declare our belief
55 that transportation has become one of the most vexing problems facing our communities
56 and state. We call upon the leaders in the legislature to create a long-term solution to our
57 transportation needs and, in the short-term, in order to keep our metropolitan area
58 economy vital and flourishing, we call upon the legislature to exercise good judgment
59 and provide adequate funding for Metro Transit as well as all suburban transit providers,
60 namely Minnesota Valley Transit Association (MVTa), SouthWest Transit, Plymouth
61 Metrolink, Maple Grove Transit, Prior Lakes Laker Line, DARTS and Shakopee Transit,
62 so as not to adversely affect the ability of all of our transit providers, whether urban or
63 suburban, to move workers, students and the thousands of other residents who use those
64 services on a daily basis to get to their jobs, to school or otherwise engage in important
65 economic activity that benefits the region and the State of Minnesota; to not halt or
66 otherwise defer or delay progress on transit projects, including the Central Corridor and
67 the Southwest LRT; to do nothing legislatively that will impede planning for other rail
68 and bus rapid transit projects presently underway; to be mindful that adequately funding
69 our existing transportation system and having the foresight to continue the commitment
70 to both plan and build out our future transit system is critical to the well being of our state
71 and we urge the legislature to provide the kind of leadership and stewardship necessary to
72 accomplish those goals.
73

74
75 The motion for the adoption of the foregoing resolution was duly seconded by Member
76

77 , and upon a vote being taken thereon, the following voted in favor thereof:
78

79 and the following voted against the same: none.
80

81 WHEREUPON said resolution was declared duly passed and adopted.

STATE OF MINNESOTA)
) ss
COUNTY OF RAMSEY)

I, the undersigned, being the duly qualified City Manager of the City of Roseville, County of Ramsey, State of Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a regular meeting of said City Council held on the 9th day of May, 2011 with the original thereof on file in my office.

WITNESS MY HAND officially as such Manager this 9th day of May, 2011.

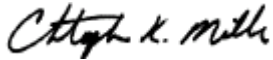
William J. Malinen, City Manager

(Seal)

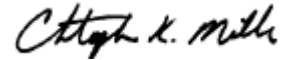
REQUEST FOR COUNCIL ACTION

Date: 5/09/2011
Item No.: 7.e

Department Approval



Acting City Manager Approval



Item Description: Request for Approval of General Purchases or Sale of Surplus Items
Exceeding \$5,000

BACKGROUND

City Code section 103.05 establishes the requirement that all general purchases and/or contracts in excess of \$5,000 be approved by the Council. In addition, State Statutes require that the Council authorize the sale of surplus vehicles and equipment.

General Purchases or Contracts

City Staff have submitted the following items for Council review and approval:

Department	Vendor	Description	Amount
IT	CDWG	Replace Network Switches	\$ 10,443.96

The street seal coating materials will be purchased through a Joint Powers Agreement with the City of St. Paul.

Sale of Surplus Vehicles or Equipment

City Staff have identified surplus vehicles and equipment that have been replaced and/or are no longer needed to deliver City programs and services. These surplus items will either be traded in on replacement items or will be sold in a public auction or bid process. The items include the following:

Department	Item / Description

POLICY OBJECTIVE

Required under City Code 103.05.

FINANCIAL IMPACTS

Funding for all items is provided for in the current operating or capital budget.

STAFF RECOMMENDATION

Staff recommends the City Council approve the submitted purchases or contracts for service and, if applicable, authorize the trade-in/sale of surplus items.

24 **REQUESTED COUNCIL ACTION**

25 Motion to approve the submitted list of general purchases, contracts for services, and if applicable the
26 trade-in/sale of surplus equipment.

27

28

Prepared by: Chris Miller, Finance Director

Attachments: A: None

29

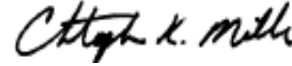
REQUEST FOR CITY COUNCIL ACTION

DATE: 05/09/2011
ITEM NO: 11.a

Department Approval:



Acting City Manager Approval:



Item Description: PUBLIC HEARING to VACATE a PUBLIC HIGHWAY EASEMENT.

1.0 REVIEW OF REQUEST

Since 2009, AEON has worked with the City of Roseville and the Minnesota Department of Transportation (MNDOT) on acquiring the small triangle lying directly north of Sienna Green. The triangle and other pieces of land was originally acquired in 1942 by MNDOT. The easement only allowed MNDOT to use the triangle for staging construction equipment when the Highway 36 and Snelling Avenue interchange was upgraded. Since MNDOT determined it no longer needed this highway easement, they approved conveying the easement to the City of Roseville via Quit Claim Deed. It is also worth noting that the underlying land has also changed hands and is in the possession of AEON. Since the Highway Easement's interest by MNDOT was conveyed to the City of Roseville and the City has no interest in retaining and/or utilizing said area for highway purposes (or any other public purpose) the public highway easement needs to be vacated.

2.0 CITY STAFF COMMENTS

- 2.1 The Development Review Committee (DRC) has reviewed this request and determined that the public highway easement can be vacated.
- 2.2 Also the Planning Division has received a few calls regarding the vacation of the highway easement, mostly for clarification reasons, but also one resident indicated their opposition to the easement vacation.

3.0 STAFF RECOMMENDATION

The Planning Division recommends that the City Council adopt a resolution vacating the public interest in the highway easement that covers the small triangle directly north and adjacent to Sienna Green.

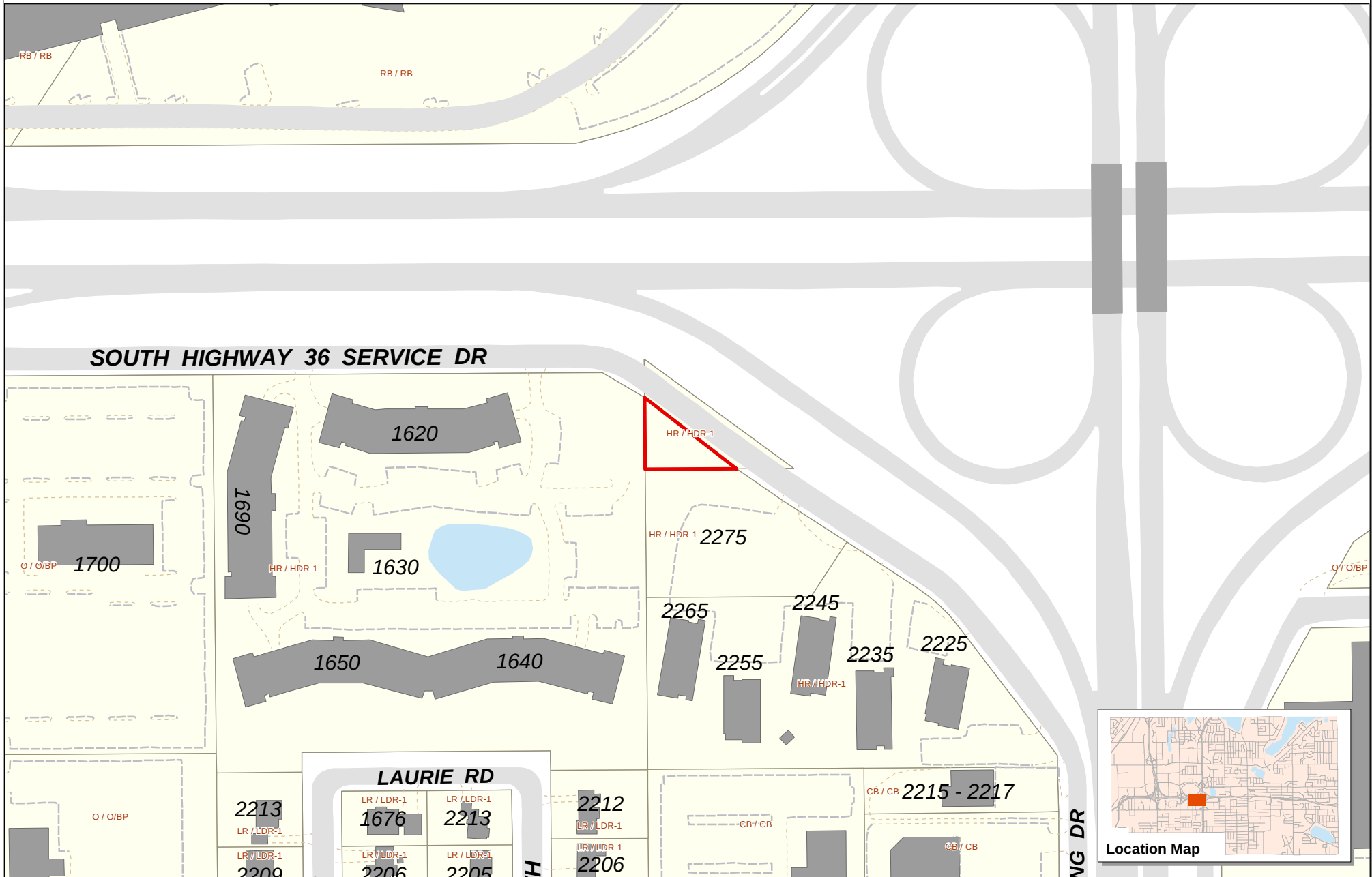
4.0 REQUESTED CITY COUNCIL ACTION

ADOPT A RESOLUTION APPROVING the VACATION of the PUBLIC HIGHWAY EASEMENT that covers the small triangle directly north and adjacent to Sienna Green.

Prepared by: Thomas Paschke, City Planner (651-792-7074)

Attachments: A: Area map
B: Aerial photograph
C: Easement Resolution
D: Easement vacation doc

Attachment A: Public Highway Easement Vacation for Planning File 07-068



Prepared by:
Community Development Department
Printed: May 3, 2011



Site Location

Comp Plan / Zoning
Designations
LR / R1

Data Sources

* Ramsey County GIS Base Map (5/2/2011)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



mapdoc: planning_commission_location.mxd

Attachment B: Public Highway Easement Vacation for Planning File 07-068



Prepared by:
Community Development Department
Printed: May 3, 2011



Site Location

Data Sources

* Ramsey County GIS Base Map (5/2/2011)
* Aerial Data: Kucera (4/2009)

For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer

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0 50 100 Feet



**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, State of Minnesota, was held on the _____ day of May, 2011 at 6:00 p.m.

The following members were present: _____
_____.

The following members were absent: _____
_____.

Council Member _____ introduced the following resolution and moved its adoption:

**RESOLUTION NO. _____
A RESOLUTION VACATING A PORTION OF A PUBLIC HIGHWAY EASEMENT**

WHEREAS, the Roseville City Council has determined on its own motion to vacate a portion of a public highway easement on, over, across and through real property legally described as follows:

That part of Tract A described below:

Tract A. The north three acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota;

which lies southwesterly of Line 1 described below:

Line 1. Beginning at a point on the south line of said Tract A, distant 220 feet east of the southwest corner thereof; thence run northwesterly to a point on the west line of said Tract A, distant 30 feet south of the northwest corner thereof and there terminating;

and

WHEREAS, said easement was acquired by the State of Minnesota pursuant to a Final Certificate in condemnation proceedings, which Final Certificate was filed in the office of the Ramsey County Recorder as Document No. 1020360; and

WHEREAS, said easement reverted and was conveyed to the City of Roseville by Quit Claim Deed given by the State of Minnesota to the City of Roseville; and

WHEREAS, after two weeks prior published and posted notice was given, the Roseville City Council held a public hearing on May _____, 2011, to determine whether or not a portion of said easement should be vacated; and

WHEREAS, the Roseville City Council has determined that the vacation would be in the public interest; and

WHEREAS, four-fifths of all members of the City Council concur in this resolution;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROSEVILLE, MINNESOTA:

1. That the City of Roseville hereby vacates that portion of the public highway easement created by said Document No. 1020360 referred to above which is legally described as follows:

That part of the North 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota which lies southwesterly of the following described line:

Beginning at a point on the south line of said North 3 acres, said line also being the North line of Lot 2, Block 1, Sienna Green Addition, Ramsey County, Minnesota, distant 138.80 feet east from the Southwest corner of said North 3 acres; thence North 55 degrees 27 minutes 07 seconds West, to its intersection with the west line of said 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota, and there terminating.

Basis of bearings: The north line of Lot 2, Block 1, SIENNA GREEN ADDITION is assumed to have a bearing of North 89 degrees 40 minutes 12 seconds East.

2. That the Roseville City Council finds that the easement vacation has no relationship to the City's Comprehensive Plan and therefore the Roseville City Council has dispensed with the requirements of Minnesota Statutes §462.356, Subd. 2.
3. The vacation applies only to that portion of the public highway easement legally described in Provision 1 above and not: (a) to any right of access taken by the State of Minnesota, (b) the rights of existing utilities, if any, as provided in Minnesota Statutes §161.45, Subd. 3, or (c) any other easements running to or benefitting the City of Roseville.
4. The City Manager is directed to record a notice of completion of these vacation proceedings pursuant to Minnesota Statutes §412.851.

The motion for the adoption of the foregoing resolutions was duly seconded by Council Member _____, and upon vote being taken thereon the following voted in favor thereof: _____,

and the following voted against the same: _____,

and the following were absent: _____.

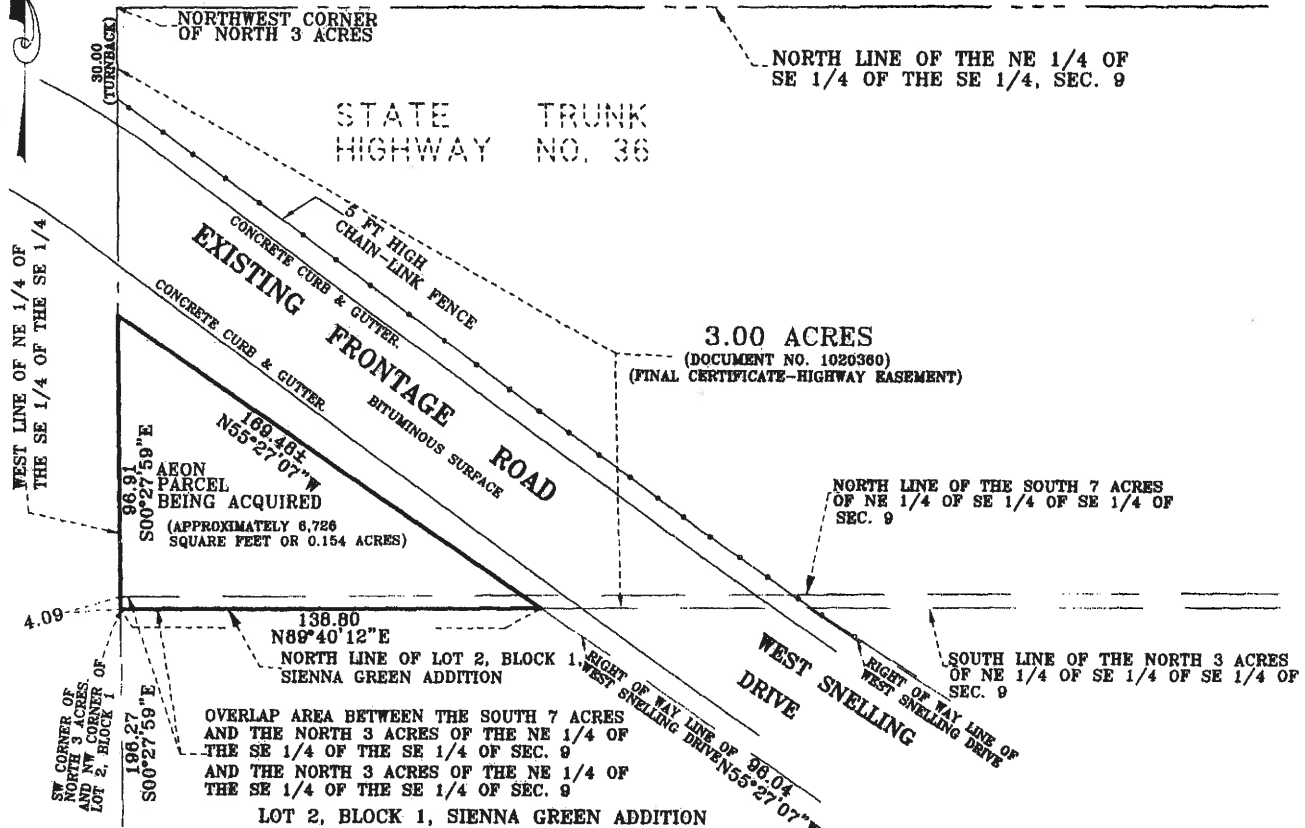
WHEREUPON said resolution was declared duly passed and adopted on the _____ day of _____, 2011.

I, the undersigned, being the duly qualified City Manager of the City of Roseville, County of Ramsey, Minnesota, do hereby certify that I have carefully compared the attached and foregoing Extract of Minutes of a regular meeting of the City Council of the City of Roseville, Minnesota, held on the _____ day of _____, 2011, with the original on file in my office, and the same is a true and correct transcript therefrom, insofar as same relates to the resolution shown.

WITNESS my hand as such City Manager of the City of Roseville, Minnesota, this _____ day of _____, 2011.

(SEAL)

SURVEY FOR: AEON LLC
SKETCH OF AEON PARCEL TO BE ACQUIRED



PROPOSED AEON PARCEL TO BE ACQUIRED:

That part of the North 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23, Ramsey County, Minnesota;

Which lies southwesterly of the following described line:

Beginning at a point on the south line of said North 3 Acres, said line also being the North line of Lot 2, Block 1, SIRENNA GREEN ADDITION, Ramsey, County, Minnesota, distant 138.80 feet east from the Southwest corner of said North 3 acres; thence North 55 degrees 27 minutes 07 seconds East, on an assumed bearing to its intersection with the west line of said 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota, and there terminating.

Basis of bearings: The north line of Lot 2, Block 1, SIENNA GREEN ADDITION is assumed to have a bearing of North 89 degrees 40 minutes 12 seconds East.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

John Coulter Peterson

Note: This Survey Certificate is not valid
without a raised seal.
Copyright © C.E. Coulter & Associates, Inc.

Date 9/14/10

Lic. No. 13792

DATE: 10/30/09

REVISIONS

5/19/10

9/14/10

C. E. COULTER & ASSOCIATES, INC.

LICENSED LAND SURVEYORS IN MINNESOTA AND WISCONSIN



1103 West Burnsville Pkwy. #200
Burnsville, Minnesota 55337
Phone: 952-808-9500/FAX: 952-808-9501
E-mail: coulter@cecoulter.com

SCALE: NONE

JOB NO. 12302C

BK./PG. 819/60

FILE NO. TURNBACK 2

SHEET 1 OF 1

Date: 5/09/11

Item: 12.a

AEON Easement Vacation

No Attachment

See 11.a

REQUEST FOR COUNCIL ACTION

Date: May 9, 2011
Item No.: 12 . b

Department Approval

Acting City Manager Approval

Christopher K. Miller

Item Description: Appoint member to Grass Lake Watershed Management Organization

1 **BACKGROUND**

2 The Grass Lake Water Management Organization Board (GLWMO) is a joint powers
3 organization that is responsible for storm water management within Grass Lake Watershed. The
4 northeast one third of Roseville and portions of Shoreview lies within the Grass Lake Watershed.

5 A five-member voluntary board appointed by the Roseville and Shoreview City Council governs
6 GLWMO. Members serve three-year terms – with two members from Roseville and two from
7 Shoreview. Appointment of the fifth member is rotated between the two cities. Joan Manzara
8 recently resigned so Roseville has a vacancy for a term that expires December 31, 2012.

9 On March 25, the Council interviewed three applications: Steve Barrett, Rebecca Galkiewicz and
10 Kurt LaBresh for the vacancy.

11 **POLICY OBJECTIVE**

12 The appointment of GLWMO board members is governed by the Joint Powers Agreement and
13 State Statute. The agreement gives each City Council the discretion to determine the
14 qualifications of their appointed members.

15 **FINANCIAL IMPACTS**

16 None

17 **STAFF RECOMMENDATION**

18 Appoint _____ to fill the vacancy on the GLWMO Board to the remainder of a three-year
19 term to expire on December 31, 2012.

20 **REQUESTED COUNCIL ACTION**

21 Appoint _____ to fill the vacancy on the GLWMO Board to the remainder of a three-year
22 term to expire on December 31, 2012.

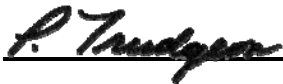
23
Prepared by: Bill Malinen, City Manager

REQUEST FOR CITY COUNCIL ACTION

DATE: **05/09/2011**
ITEM NO: **12 . c**

Department Approval

Acting City Manager Approval:



Item Description: Request by Meritex Enterprises, Inc. for approval of a **PRELIMINARY/FINAL PLAT** of the industrially-zoned property at 2280 Walnut Street and a request by AirGas North Central for approval of a **CONDITIONAL USE** to allow outdoor storage of bulk gas cylinders (**PF11-010**).

1.0 REQUESTED ACTION

The development on the eastern portion of 2280 Walnut Street requires two separate actions. The first request, submitted by Meritex Enterprises, is related to the division of land (Preliminary and Final Plat) necessary to create a separate lot between the rail spur and the Minnesota Commercial Rail line with frontage along Terminal Drive. The second request, submitted by AirGas North Central, is related to a Conditional Use needed to allow outdoor storage of bulk gas storage vessels.

Project Review History

- Application submitted: March 4, 2011; Determined complete: March 10, 2011
- Sixty-day review deadline: May 15, 2011
- Project report prepared: April 6, 2011
- Planning Commission action (7-0): April 6, 2011
- City Council action: May 9, 2011

2.0 SUMMARY OF RECOMMENDATION

On April 6, 2011, the Roseville Planning Commission held the duly notice public hearing regarding the Meritex Enterprises and AirGas North Central requests. The Commission found no issues or concerns with either request and voted 7-0 to recommend approval of the two. The Commission did remove a condition they felt was unnecessary because it is a requirement of the Zoning Ordinance.

3.0 SUMMARY OF SUGGESTED ACTION

- 3.1 BY MOTION, APPROVE of the PRELIMINARY/FINAL PLAT OF HIGHCREST PARK 2ND ADDITION, pursuant to Title 11 (Subdivisions) of the City Code.
- 3.2 BY MOTION, APPROVE the CONDITIONAL USE for AirGas North Central allowing outdoor storage of bulk gas cylinders.

See Section 8 of this report for the detailed action.

4.0 BACKGROUND

- 4.1 The property at 2280 Walnut Street has a Comprehensive Plan designation of Industrial (I) and a corresponding zoning classification of Industrial (I) District.
- 4.2 The Preliminary Plat has been prompted by the need to create a separate lot for AirGas North Central to develop a gas processing and distribution facility (oxygen, nitrogen, nitrous oxide, and carbon dioxide) on the eastern piece of the 2280 Walnut Street parcel.
- 4.3 The proposed lot to be utilized by AirGas North Central will comprise the eastern portion, a triangular lot lying between the north/south rail spur and the Minnesota Commercial Rail line, and front along Terminal Drive. The remainder of the 2280 Walnut Street parcel will be platted as an outlot and require future subdivision when other uses/developments are brought forward.
- 4.4 The Conditional Use portion of the request is related to the storage of bulk gas cylinders outdoors within concrete bunkers at the rear or western portion of the site.
- 4.5 For the sake of clarification, the nature of an “outlot” is such that it may not be developed until it is re-platted. In this case, the intent is to plat the proposed Outlot A when future development scenarios are solidified enough to determine where lot lines will be most appropriate.

5.0 PRELIMINARY/FINAL PLAT ANALYSIS

- 5.1 Plat proposals are reviewed primarily for the purpose of ensuring that all proposed lots meet the minimum size requirements of the zoning code, that adequate streets and other public infrastructure are in place or identified and constructed, and that storm water is addressed to prevent problems either on nearby property or within the storm water system. As a Preliminary Plat of an industrial property, the proposal leaves no zoning issues to be addressed since the Zoning Code does not establish minimum lot dimensions or area.
- 5.2 Roseville’s Development Review Committee, a body comprising staff from various City departments, met on March 10 and 17, 2011 to discuss the application. There were no outstanding issues addressed at the meeting regarding the subdivision submittal. Specifically, the plat submittal included all necessary easements and road right-of-way. However, the private ponds easements shown on the preliminary plat were requested to be removed for these will not be public ponds. The final plat does not include the pond easements, only the appropriate and required easements sought by the City.
- 5.3 The DRC did have a few comments regarding site access, site improvements, and clarification on other building related items. However, these items are not germane to the requested approval and will be addressed as a component of the building permit process.
- 5.4 After the Planning Commission meeting of April 6, 2011, the applicant submitted revised documents to the City for review and consideration by the Planning Division and Engineering Division. These plans have been reviewed and both divisions support the combination and approval of the preliminary and final plat for Highcrest Park Second Addition.

- 5.5 The City Code regarding Park Dedication reads as follows:

1103.07: PARK DEDICATION:

A. Condition to Approval: As a condition to the approval of any subdivision of land in any zone, including the granting of a variance pursuant to Section 1104.04 of this Title, when a new building site is created in excess of one acre, by either platting or minor subdivision, and including redevelopment and approval of planned unit developments, the subdivision shall be reviewed by the Park and Recreation Commission. The Commission shall recommend either a portion of land to be dedicated to the public for use as a park as provided by Minnesota Statutes 462.358, subdivision (2)(b), or in lieu thereof, a cash deposit given to the City to be used for park purposes; or a combination of land and cash deposit, all as hereafter set forth.

B. Amount to be Dedicated: The portion to be dedicated in all residentially zoned areas shall be 10% and 5% in all other areas.

C. Utility Dedications Not Qualified: Land dedicated for required street right of way or utilities, including drainage, does not qualify as park dedication.

D. Payment in lieu of dedication in all zones in the city where park dedication is deemed inappropriate by the City, the owner and the City shall agree to have the owner deposit a sum of money in lieu of a dedication. The sum shall be reviewed and determined annually by the City Council by resolution. (Ord. 1061, 6-26-1989)

E. Park Dedication Fees may, in the City Council's sole discretion, be reduced for affordable housing units as recommended by the Housing and Redevelopment Authority for the City of Roseville. (Ord. 1278, 02/24/03).

- 5.6 On March 18, 2011, the Community Development Department received a letter for the Meritex Enterprises (property owner) seeking a waiver from the required park dedication (land or fee in lieu) requirements for their 42 acre Highcrest Park property (Attachment F).
- 5.7 On April 5, 2011, the Park and recreation Commission took-up the request and voted not to support the waiver. The Commission also voted to recommend to the City Council that a payment in lieu of land dedication be made, which per the City Fee Schedule is 5% of the fair market value of the unimproved land.

6.0 CONDITIONAL USE ANALYSIS

- 6.1 The use of the site for processing and/or distribution is a permitted use. AirGas plans on constructing a facility for the purpose of a cylinder filling operation with four separate bulk storage vessels for supplying oxygen, nitrogen, nitrous oxide, and carbon dioxide. Cylinder filling is conducted within the building according to National Fire Protection Association regulations. Cylinders are inspected, maintained, handled, filled, stored and transported using approved written procedures and guidelines that comply with state and federal regulations. The CONDITIONAL USE request is to enable AirGas to safely store flammable gas cylinders outside in concrete block bunkers.

- 6.2 REVIEW OF GENERAL CONDITIONAL USE CRITERIA: Section 1009.02C of the City Code establishes general standards and criteria for all conditional uses, and the Planning Commission and City Council must find that each proposed conditional use does or can meet these requirements. The general standards are as follows:
- a. *The proposed use is not in conflict with the Comprehensive Plan.* Planning Division believes that the proposed outdoor storage of cylinders is not in conflict with the Comprehensive Plan, but that it advances land use Policy 11.2 through the CU process established in the zoning ordinance which controls and/or restricts the use of open storage areas in the industrial district.
 - b. *The proposed use is not in conflict with a Regulating Map or other adopted plan.* The proposed outdoor storage CU is not in conflict with such plans because none apply to the area surrounding the property.
 - c. *The proposed use is not in conflict with any City Code requirements.* The Planning Division has determined that the use of the site as a gas processing and distribution facility is a permitted use and that the outdoor cylinder storage can be addressed under the CU process as well as meet all applicable City Code requirements; moreover, a conditional use approval can be rescinded if the approved storage use fails to comply with all applicable Code requirements or conditions of the approval.
 - d. *The proposed use will not create an excessive burden on parks, streets, and other public facilities.* Planning Division staff does not expect such a use to have any noticeable impact on any parks or public infrastructure.
 - e. *The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.* The storage of gas cylinders in concrete bunkers that are 8 feet in height at the rear of the site, which should not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare of the community.
- 6.3 REVIEW OF SPECIFIC CONDITIONAL USE CRITERIA: Section 1009.02D-23 of the City Code establishes additional standards and criteria that are specific to outdoor storage associated with manufacturing and/or processing facilities; the Planning Commission and City Council must also find that the proposal does or can meet the additional pertinent standards.
- a. *Areas of outdoor activities or storage shall not be located between the principal use and the primary public street.* The proposal meets this requirement with the cylinder bunker/containment area located in the rear yard along the west property line. .
 - b. *Areas of outdoor activities or storage shall be screened by a solid opaque wall or fence at least 8 feet in height.* The outdoor storage of the gas cylinders (trigger for CU) will be contained within 5 bunkers that are 25 foot wide by 25 foot deep and 8 feet in height. The storage bunker achieves the majority of the screening requirement and with the installation of gates or another form of screening, the outdoor storage area will meet code requirements. The Planning Division continues to work with the applicant of the final design and materials to satisfy this requirement.

- c. *Aggregates and other granular materials shall be stored in such a way that prevents erosion.* With no aggregate or granular material being stored on the premises, this condition is not applicable.
 - d. *The Planning Commission and City Council shall give special consideration to the height of equipment and materials stored outside and its visibility from nearby properties and roadways.* The proposal submitted by AirGas and the requirements of the Code (general and through the CU process) will effectively address the visibility issue. Specifically, the storage of the gas cylinders outdoors in concrete bunkers will screen the outdoor storage of cylinder form adjacent business/property view.
- 6.4 Roseville's Development Review Committee (DRC), a body comprising of staff from various City departments, met on February 17, 2011 to discuss this application. Members of the DRC had a few general comments regarding the sites design, such as the location of access, private versus public ponds, fencing height and material, and that all parking lot areas must include concrete curb and gutter. The Fire Marshal has reviewed the proposal and finds it complies with the fire code. The DRC supports the approval of the Conditional Use.
- 6.5 REVIEW OF ENVIRONMENTAL REGULATIONS: Section 1011.02 of the City Code establishes specific standards that need to be achieved throughout Roseville. Section 1011.02C reads: **In General:** All uses shall be conducted so as to prevent any nuisance, hazard or commonly recognized offensive conditions, including creation or emission of noise, smoke and particulate matter, toxic or nontoxic matter, odors, vibrations, glare or heat, and the use of explosives.
- a. *Noise: Any use established shall be so operated that no noise resulting from said operation which would constitute a nuisance is perceptible beyond the premises. This does not apply to incidental traffic, parking and off-street loading operations.* The Planning Division does not anticipate that the use of the site by AirGas North Central will create more noise than that considered incidental to the operation.
 - b. *Smoke And Particulate Matter: The emission of smoke or particulate matter is prohibited where such emission is perceptible beyond the premises to the degree as to constitute a nuisance.* The Planning Division does not anticipate the emission of smoke and/or particulate matter from the operation by AirGas – the filling of bulk gas cylinders.
 - c. *Toxic Or Noxious Matter: No use shall, for any period of time, discharge across the boundaries of the lot wherein it is located, toxic or noxious matter of such concentration as to be detrimental to or endanger the public health, safety, comfort or welfare or cause injury or damage to property or business.* The Planning Division does not anticipate that any of the gases contained within bulk storage vessels or those within consumer gas storage cylinders will be discharged and endanger the public health, safety, comfort or welfare, or cause injury, damage to property or business. This type of use is regulated by the state and has specific Occupational Safety Hazard Administration (OSHA) standards/requirements that must be met during the transference of gases from the bulk storage vessels to the consumer sized cylinders.

- d. *Odors: The emission of odorous matter in such quantities as to be readily detectable beyond the boundaries of the immediate site is prohibited.* The Planning Division does not anticipate through the operation of the site that there will be any odorous matter detectable beyond the property boundary. Some of the gases that will be stored and transferred do not have an odor, while a few such as propane and acetylene do have a slight odor present.
- e. *Vibrations: Any use creating periodic earthshaking vibrations, such as are created by heavy drop forges or heavy hydraulic surges, shall be prohibited if such vibrations are perceptible beyond the boundaries of the immediate site.* The Planning Division does not anticipate any vibrations from the use/operation as a gas processing/distribution facility.
- f. *Glare or Heat: Any operation producing intense glare or heat shall be performed within a completely enclosed building.* The Planning Division does not anticipate any heat or glare from the use/operation as a gas processing/distribution facility.
- g. *Explosives: No activities involving the storage, utilization or manufacture of materials or products which could decompose by detonation shall be permitted except such as are specifically licensed by the city council. Such materials shall include, but not be confined to, all primary explosives such as lead oxide and lead sulfate; all high explosives and boosters such as TNT, RDS, tetryl and ammonium nitrate; propellants and components thereof such as nitrocellulose, black powder, ammonium perchlorate and nitroglycerin; blasting explosives such as dynamite, powdered magnesium, potassium chlorate, potassium permanganates and potassium nitrate, and nuclear fuels and reactor elements such as uranium 235 and plutonium.* The Planning Division, through the review of the literature submitted and our analysis of the gases to be present on the site does not find that explosives as defined above will be present. It is true that some of the gasses contained on site are flammable, and it is also true that anything that is pressurized can explode. The Fire Department has reviewed the list of gasses and will require them to be stored safely and in accordance with the fire code (see conditions 7.2 b, c, and d).

7.0 PLANNING COMMISSION ACTION

- 7.1 On April 6, 2011, the Planning Commission held the duly noticed public hearing regarding Meritex Enterprises request for a Preliminary Plat and for AirGas North Central request for Conditional Use approval to allow outdoor storage.
- 7.2 No citizens were present to address the Commission on either of the requests, but Commissioners and the applicant did have questions of staff.
- 7.3 The Planning Commission was interested in knowing why or whether condition 1 pertaining to screening of the outdoor storage area was necessary when it is covered by the Zoning Ordinance.
- 7.4 This applicant's representative was interested in knowing whether a compromise or reduction in the fencing as contained in the report could be considered. The City Planner indicated that the condition could be removed and that the Planning Staff would discuss the requirement of screening and provide the applicant with options.

- 7.5 The applicant's representative also sought consideration of the final plat. However, the City Planner indicated that a Final Plat is only considered by the City Council not the Planning Commission and that the Staff would discuss the combination of Preliminary and Final for Council consideration.
- 7.6 The Planning Commission voted (7-0) to recommend approval of the Preliminary Plat of Highcrest Park second Addition, subject to the following condition:
- a. The currently indicated public drainage pond easements found in two locations on the Preliminary Plat shall be removed. These ponds will be private, not public.
- 7.7 The Planning Commission also voted (7-0) to recommend to the City Council approval of the Conditional Use allowing outdoor storage of gas cylinders for AirGas North Central, subject to:
- a. Condition 1 of the staff recommendation being removed; and
 - b. All cylinders shall be stored vertically unless cylinders are designed for horizontal storage.
 - c. All cylinders shall have protective metal caps over valves at all times.
 - d. Non-flammable cylinders shall not be permitted to be stored with flammable cylinders

8.0 SUGGESTED CITY COUNCIL ACTION

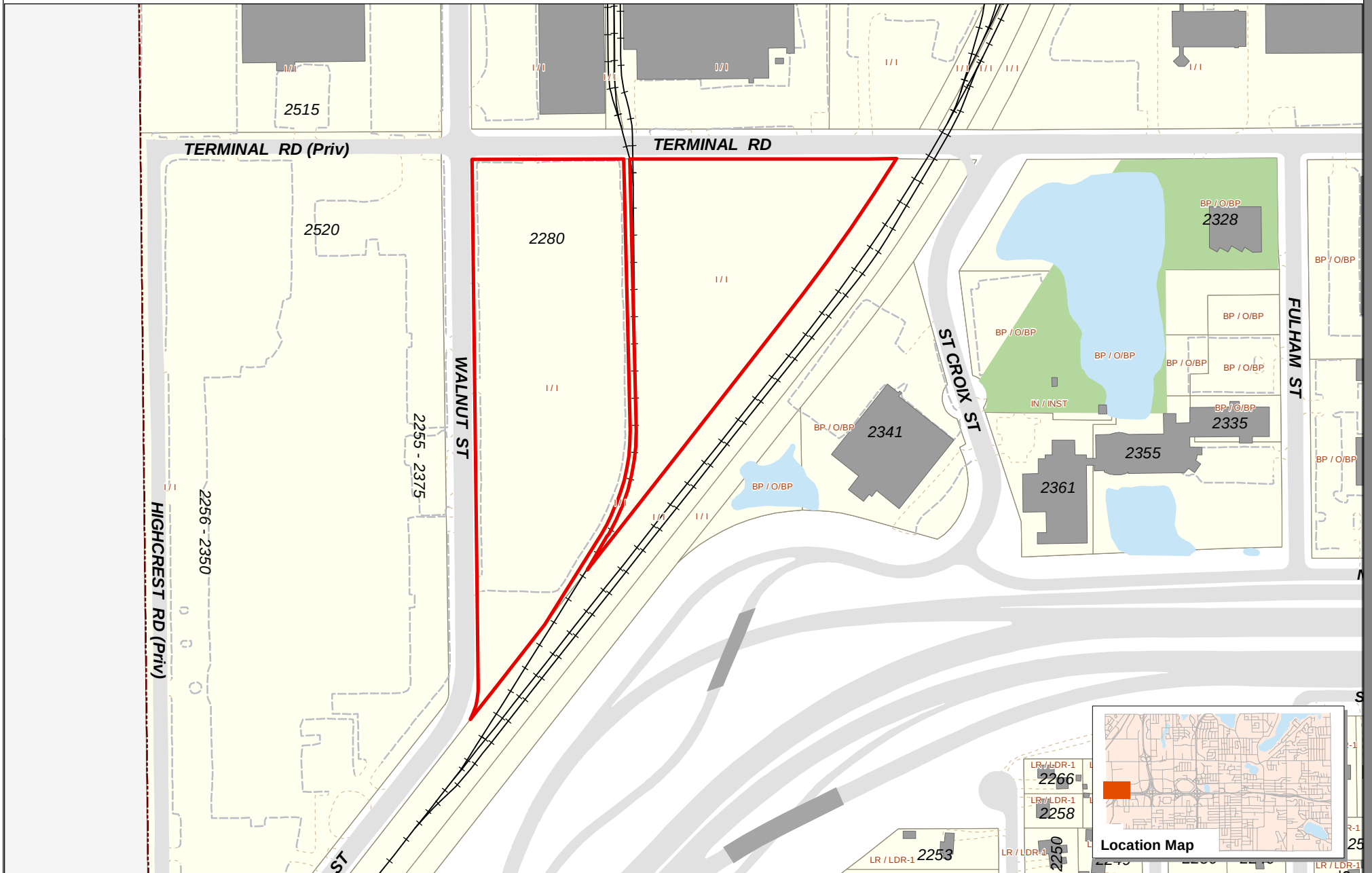
- 8.1 Since the Planning Commission meeting, the Planning Division has been working with the applicant and their project manager on meeting specific requirements prior to forwarding the requests to the City Council for approval. The most recent plans have been reviewed and meet with Planning Division approval. Specifically the building materials have been addressed to meet the requirements in Section 1006.02, fencing and screening requirements of the Conditional Use, and revisions to the site plan to indicate all outdoor storage areas.
- 8.2 ADOPT A RESOLUTION, APPROVING the PRELIMINARY/FINAL PLAT of Highcrest Park 2nd Addition, 2280 Walnut Street, based on the comments and findings of Sections 5 of this staff report dated May 9, 2011;
- 8.3 ADOPT A RESOLUTION, APPROVING the CONDITIONAL USE for AirGas North Central to allow outdoor storage of gas cylinders within concrete bunkers, based on the comments and findings of Section 6 and the conditions of 7.7b-c of the project report dated May 9, 2011.

Prepared by: City Planner Thomas Paschke

Attachments: A: Area map
B: Aerial photo
C: Application Supplement Info
D: Preliminary Plat

E: Site plans
F: Park dedication waiver letter
G: Plat resolution
H: Conditional use resolution

Attachment A: Location Map for Planning File 11-010



Prepared by:
Community Development Department
Printed: March 29, 2011



Site Location

LR / R1 Comp Plan / Zoning
Designations

Data Sources

* Ramsey County GIS Base Map (2/28/2011)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.

0 100 200 Feet



mapdoc: planning_commission_location.mxd

Attachment B: Aerial Map of Planning File 11-010



Prepared by:
Community Development Department
Printed: March 29, 2011



Site Location

Data Sources

* Ramsey County GIS Base Map (2/28/2011)

* Aerial Data: Kucera (4/2009)

For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
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0 100 200 Feet



Thomas Paschke

From: Dan Williams [dwilliams@meritex.com]
Sent: Thursday, March 03, 2011 12:51 PM
To: Thomas Paschke
Cc: Pankratz, Brian L. @ Minneapolis; SNilsson@WelshCo.com
Subject: Air Gas Parcel
Attachments: 32988-AREA-EXHIBIT 11X17 CERT (LANDSCAPE) (1) (3).pdf

Thomas:

This e-mail is to inform you that Meritex is currently negotiating with Air Gas to sell them a portion of our property along Terminal Road (aka County Road B-2). The Air Gas parcel is identified on the attached plan as the "Triangle Parcel".

We expect to have a Purchase and Sale Agreement fully executed by the end of next week. We also plan to submit a plat application to the City of Roseville Monday of next week.

Finally, we wanted you to know that Meritex supports the efforts by Air Gas to begin the DRC review process and to obtain a Conditional Use Permit.

Should you have any further questions regarding the Air Gas process and/or platting of the land, feel free to e-mail or call me.

Regards,

Dan Williams



► **Dan Williams** PH. 651-855-9671
Chief Investment Officer Cell. 651-295-5008
24 University Avenue N.E. Fax. 651-855-9701
Suite 200
Minneapolis, MN 55413
dwilliams@meritex.com
www.meritex.com



Statement of Intent/General Use

**Walnut Street
Airgas, Inc. - Industrial and Medical gases supplier
Welding Supplies distributor**

Description of Proposed Operation

Airgas, Inc. founded in 1982 has over 1300 U.S. locations as a welding equipment (welding machines, wire, etc.) distributor, and an Industrial Gas (oxygen, acetylene, nitrogen, etc.) supplier.

At this location the cylinder filling operation consists of four separate bulk storage vessels (systems) for supplying oxygen, nitrogen, nitrous oxide and carbon dioxide to a number of respective cylinder filling stations. All cylinder filling is done inside the building per NFPA (National Fire Protection Association) regulations. Cylinders are inspected, maintained, handled, filled, stored, and transported using approved written procedures and guidelines that comply with federal, state, and local codes and regulations.

Airgas, Inc. has safely stored gas cylinders for years at multiple locations throughout the United States. **Our request for this proposed approval is to enable us to continue to safely store flammable gas cylinders outside, in concrete block bunkers, (see drawings).** All flammable gas cylinders will be stored within the bunkers shown on the south side of property drawings. These bunkers are constructed of concrete block for separation into small quantities (see **Bulletin 57**).

NOTE: THERE WILL BE NO FILLING OF FLAMMABLE GAS CYLINDERS AT THIS LOCATION. NO FLAMMABLE GAS CYLINDERS WILL BE STORED INDOORS.

Market area served

Our facility will continue to support the greater Minneapolis/St Paul market area. Our fill plant operates one shift from 7:00 a.m. to 4:00 p.m. each day. Office hours are from 7:30 a.m. to 5:00

p.m. approximately 22 full-time on site operations staff will occupy the building. The store will be closed on weekends.

The distribution of the welding equipment and compressed gas cylinders will be with done with semi and straight trucks. There will be a total of 6 vehicles delivering the products. The earliest a truck will leave the facility in the morning is 4:30 am and the latest will be 5 pm excluding unscheduled deliveries. The filling of the compressed gases will be on one shift starting at 5am and ending by 5pm Monday through Friday.

This location will be used as a production and distribution center for these products, and is a relocation of a currently existing operation in the City of St. Paul MN. The Project will include a building used as a distribution and production facility with sales offices. Production for example is defined as taking liquid Oxygen and compressing it into a gas form that is then put into smaller cylinders for distribution.

The Project will provide a capital investment to the City of Roseville of over \$3,000,000. It will bring 40 jobs to Roseville and allow opportunity for Airgas to grow.

The proposed use of this property and the building to be constructed on it are for the filling and distribution of welding equipment and compressed gas cylinders. The cylinders will be secured on steel pallets and stored in concrete-block bunkers as shown on the submitted drawings. Airgas, Inc. has provided documentation regarding its Plan of Operation, Drawings, Emergency Response Plan, Safety, Quantities of Gas Stored on Site, and MSDS sheets.

Storage of compressed gas cylinders will comply with the National Fire Protection Association (NFPA), International Fire Code (IFC), Roseville Fire Department, and the City's Environmental Management Department rules, regulations, and requirements. No toxic materials are handled on site. Outside storage of the cylinders is necessary to facilitate their handling, delivery, and shipment. The lot does not provide sufficient space for all such storage and handling to be done within the building, nor is it practical or desirable to do so. The outside storage accesses and facilitates the use of the building as permitted by the current zoning.

Only the materials and cylinders directly related to Airgas, Inc.'s business will be delivered to the site, stored there, then distributed to its customers in the area or removed for filling and re-use. This operation and the outside storage of its materials will have no adverse impact on the environment or any natural resources.



Engineering • Landscape Architecture • Planning • Surveying • Traffic

Creating extraordinary
Communities

March 2, 2011

Mr. Tom Paschke, City Planner
City of Roseville
2660 Civic Center Drive
Roseville, MN 55113

**Re: Conditional Use Permit Narrative and Traffic Memorandum
Airgas Inc.
County Road B-2 in the 2400 Block Vicinity**

Mr. Paschke:

RLK Incorporated (RLK) in association with Consolidated Construction Company (CCC) of Appleton, Wisconsin are pleased to be supplementing the Conditional Use Permit (CUP) for the proposed Airgas North Central Facility. Our request is for the City of Roseville to approve the project as outlined in the Conditional use Application booklet and preliminary plans to allow Airgas Inc. to be constructed on a 5.9± acre site. Currently the site is zoned industrial, is vacant, and is located between two railroad spurs. An overhead Xcel transmission line parallels the east leg of this triangle shaped site. This project will not impact the railroads, transmission towers, or easements. The 5.5 acre parcel is proposed to be subdivided from a larger parcel of property and will have direct access to County Road B-2.

The project will consist of a 17,560 sf building with approximately 42 parking stalls. There are two proposed curb cuts to County Road B-2 with employee parking in front of the building and loading docks and open storage of gas canisters located to the rear of the building within a chain link security fence. The proposed facility will add employment and develop a vacant parcel to the standards of the City. All architectural, lighting, landscape and setbacks meet the City Code for this industrial employment district. The project is consistent with the City's Comprehensive Plan, the City Code Requirements, and is not in conflict with other regulatory maps or adopted plans.

The proposed use will not create an excessive burden on parks, streets or other public facilities. The anticipated employee, customer and truck traffic is further outlined in the attached memorandum. The proposed project is a perfect fit for this industrial section of the City.

In addition, to presenting this plan to the City for approval, we will be submitting the plans to the Rice Creek Watershed District for review. The Stormwater Management Plan for this site has been designed to meet both the City and the Watersheds regulations.

Offices: Duluth Hibbing Minnetonka

(952) 933-0972 • 6110 Blue Circle Drive • Suite 100 • Minnetonka, MN 55343 • FAX (952) 933-1153

Equal Opportunity Employer

The project has been designed to City standards, is consistent with all plans and will not negatively impact traffic, property values, public health, safety, or general welfare.

Sincerely,

RLK Incorporated

A handwritten signature in black ink that reads "John E. Dietrich". The signature is written in a cursive style with a large, stylized "D" and "t".

John E. Dietrich, ASLA
Principal Landscape Architect

Attachment: Traffic Memorandum

**Traffic Impact Study
Airgas, Roseville, MN**

RLK Incorporated has reviewed the traffic impacts with the proposed Airgas site along Terminal Road in Roseville, MN. The current average daily traffic along Terminal Road is 3,700 trips per day.

The following users play into the traffic impacts of the site:

Customers/Visitors to the site	25 vehicles per day (all non-peak)
Airgas service trucks	6 trucks per day (all non-peak)
Bulk Delivery Trucks	0.8 trucks per day (3-4 per week – all non-peak)
Employees (22)	22 vehicles per day (peak hour arrival/departure)

In a worst case scenario, the following daily trip generation is assumed for the site:

Customer/Visitor trips	50 trips per day
Employee trips (arrive, depart & lunch)	88 trips per day
Service call trips	12 trips per day
Bulk delivery trips	<u>~2 trips per day</u>
TOTAL	152 trips per day

Furthermore, the following peak hour trip generation is assumed in a worst case scenario:

Customer trips (worst case)	25 trips per hour
Employee trips (arrive, depart & lunch)	22 trips per hour
Service call trips	0 trips per hour
Bulk delivery trips	<u>0 trips per hour</u>
TOTAL	47 trips per hour

The four-lane configuration of Terminal Road has adequate capacity to serve the 3,700 vehicles per day. The addition of 152 trips per day onto Terminal Road, with the bulk of those trips during non-peak times, will pose minimal additional impact to the overall level of service for the facility.

Therefore, it is determined that, from a transportation perspective, the proposed Airgas development "...will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare."



COMMUNITY DEVELOPMENT
2660 Civic Center Drive ♦ Roseville, MN 55113
Phone: (651) 792-7005 ♦ Fax: (651) 792-7070

OFFICE USE ONLY
Permit # _____
Reviewer initials & date: _____

CERTIFICATION OF COMPLIANCE WITH ENVIRONMENTAL REGULATIONS

Environmental Regulations: City Code §1011.02

Compliance: All uses must comply with the environmental standards established in this section unless any federal, state, county or local law, ordinance or regulation establishes a more restrictive standard, in which case, the more restrictive standard will apply. All applicants for building permits in non-residential districts and/or non-residential uses shall demonstrate compliance with the performance standard set forth in this Section. An application for building permit shall not be deemed complete until a showing by the applicant that they meet the standards herein.

In General: All uses shall be conducted so as to prevent any nuisance, hazard or commonly recognized offensive conditions, including creation or emission of noise, smoke and particulate matter, toxic or nontoxic matter, odors, vibrations, glare or heat, and the use of explosives. Below, briefly describe how you meet the following standards:

- a. **Noise:** Any use established shall be so operated that no noise resulting from said operation which would constitute a nuisance is perceptible beyond the premises. This does not apply to incidental traffic, parking and off-street loading operations.

There will be use of forklifts outside along with six fleet trucks operated out of this location.

- b. **Smoke And Particulate Matter:** The emission of smoke or particulate matter is prohibited where such emission is perceptible beyond the premises to the degree as to constitute a nuisance.

N/A

- c. **Toxic Or Noxious Matter:** No use shall, for any period of time, discharge across the boundaries of the lot wherein it is located, toxic or noxious matter of such concentration as to be detrimental to or endanger the public health, safety, comfort or welfare or cause injury or damage to property or business.

N/A

- d. **Odors:** The emission of odorous matter in such quantities as to be readily detectable beyond the boundaries of the immediate site is prohibited.

N/A

- e. **Vibrations:** Any use creating periodic earthshaking vibrations, such as are created by heavy drop forges or heavy hydraulic surges, shall be prohibited if such vibrations are perceptible beyond the boundaries of the immediate site.

N/A

- f. **Glare or Heat:** Any operation producing intense glare or heat shall be performed within a completely enclosed building.

N/A

- g. **Explosives:** No activities involving the storage, utilization or manufacture of materials or products which could decompose by detonation shall be permitted except such as are specifically licensed by the city council. Such materials shall include, but not be confined to, all primary explosives such as lead oxide and lead sulfate; all high explosives and boosters such as TNT, RDS, tetryl and ammonium nitrate; propellants and components thereof such as nitrocellulose, black powder, ammonium perchlorate and nitroglycerin; blasting explosives such as dynamite, powdered magnesium, potassium chlorate, potassium permanganates and potassium nitrate, and nuclear fuels and reactor elements such as uranium 235 and plutonium

N/A

By completing this form, you attest that the use of the subject property will conform to the above environmental regulations. The Community Development may require additional information regarding the use and potential impacts of the use, prior to approving a building permit.

Property Address and General Use of Property: _____

See Attachment

Property owner Information:

Company Name (if applicable): Airgas North Central

Contact Last Name: Cotteleer Contact First Name: Mike

Address: 1250 West Washington St. City/State/Zip: West Chicago, IL 60185

Phone number: 630-854-6729 Email address: Michael.Cotteleer@airgas.com

Signature:  Date: 3-3-11



Airgas Listing of Types and Maximum Gases located at the Roseville Site

<u>Regulated Substance</u>	<u>Max Pounds on Site</u>
----------------------------	---------------------------

• Acetylene	3987
• Air	10789
• Argon	13857
• Carbon Dioxide	15123
• Carbon Dioxide Liquid	54322
• Helium	832
• Nitrogen	7527
• Nitrogen Liquid	98085
• Nitrous Oxide	13100
• Nitrous Oxide & less than 1% other gases	4992
• Nitrous Oxide Liquid	26372
• OXYFUME (Ethylene Oxide)	186
• Oxygen	19329
• Oxygen Liquid	108799
• Propane	679

• <u>Summary Of Gases:</u>	
----------------------------	--

• Acetylene	3987
• Non Flammable	244999
• Oxygen	128128
• Propane	679

REVISIONS

LOCATION MAP
25° 10' 30" N
93° 10' 30" W

**SECTION 8, TOWNSHIP 28,
RANGE 33
MARSH COUNTY, MINNESOTA.**



INDEX OF RESULTS
For the purposes of this survey the south line of Parcel C is assumed to bear N40°32'14"E

- "SILVERSHADE"**
 NW/400 BURNED DATARINE
 BURNED WOOD: 5004
- in the City of Reading, located in the southwest corner of the
 intersection of Township Road and St. Charles Street, 6.2 feet west
 of the southeast corner of St. Charles Street, and 6.2 feet south of the
 intersection of the intersection of Township Road and St. Charles Street. The
 majority of the southeast corner of railroad number one and
 6.2 feet east of the road and east.
- Readings - 521.86 feet (521.86 feet)

[illegible]

Date: February 25, 2001

FOIA SUMMARY

Carl M. Esch
1st Regulator's No. 23862

RLX Incorporated
4130 Blue Circle Drive
Tulsa, OK 74106
Ottawa, IL 62454
(312) 923-0972

Consolidated Construction
4300 North Richmond Street
Appleton, WI 54913

AIRGAS SITE	ALTA/ACSM Land Title Survey
Roseville, Minnesota	



CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL DIMENSIONS ARE SHOWN TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

BUILDING DIMENSIONS REFER TO THE OUTSIDE FACE OF
BUILDING UNLESS OTHERWISE NOTED.

TYPICAL FULL SIZE 90° PARKING STALL, IS 9' X 18' UNLESS OTHERWISE NOTED.

ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.

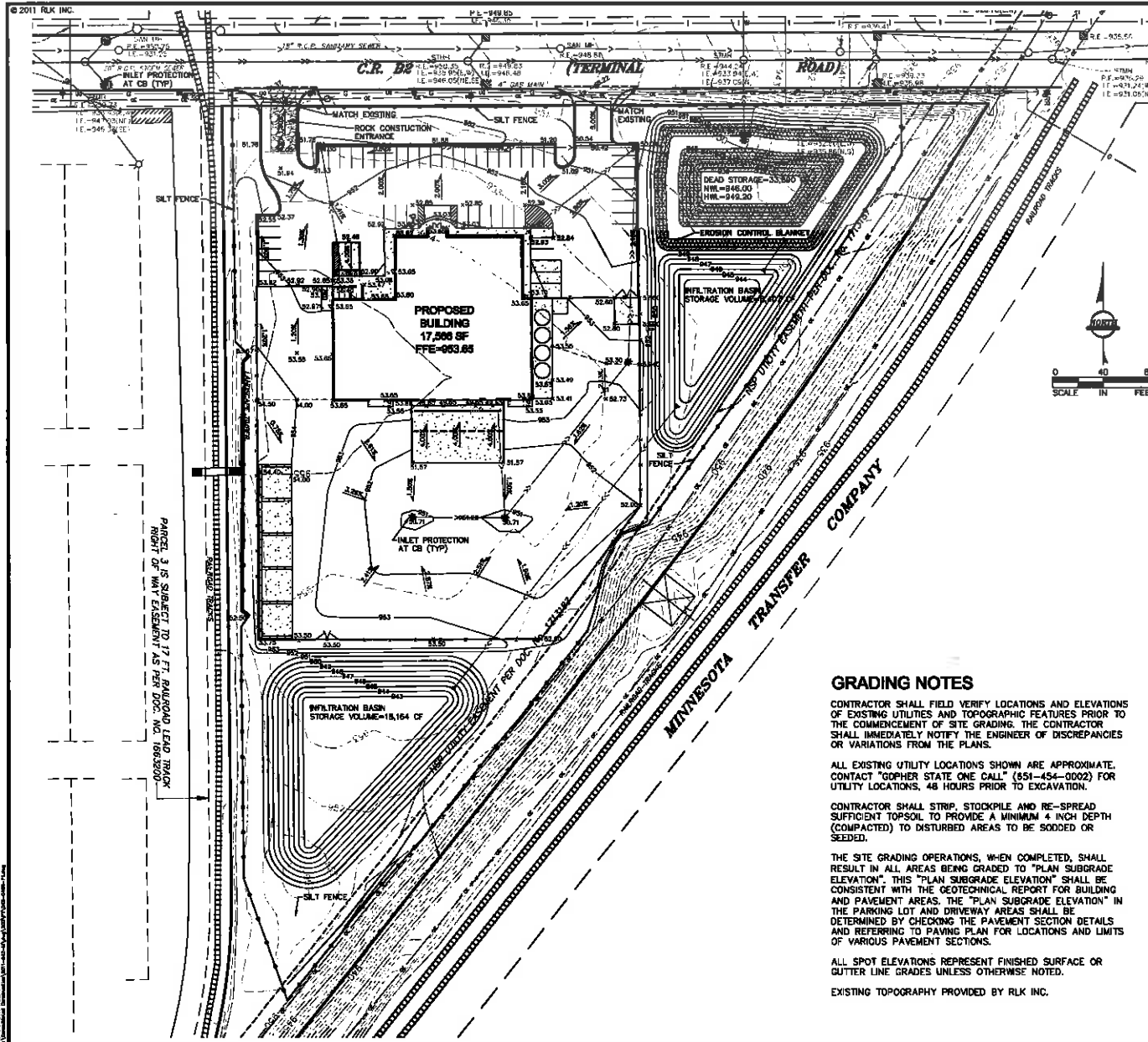
ALL CURB AND GUTTER TO BE B612 UNLESS OTHERWISE NOTED.

PROPERTY IS ZONED INDUSTRIAL.

THE DEVELOPMENT PROPERTY OF THE AIRGAS DEVELOPMENT IS
GENERALLY REFERED TO AS THE 5.92± ACRE TRIANGLE
PARCEL OF THE EXISTING PARCEL B.

PLAN SET DATED 3/4/11 TO BE USED AS APPLICATION FOR
CONDITIONAL USE PERMIT TO THE CITY OF ROSEVILLE BY
CONSOLIDATED CONSTRUCTION COMPANY.

[illegible]



Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 881-454-0002
 MN. Toll Free 1-800-282-1168

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	---	---
EXISTING LINE	---	---
CURB LINE	---	---
BITUMINOUS PAVEMENT	---	---
CONCRETE PAVEMENT	---	---
RAILROAD	---	---
FENCE LINE	---	---
LIGHT POLE	---	---
POWER POLE	---	---
HANDICAP PARKING	---	---
TOPOGRAPHIC INDEX CONTOUR	---	---
TOPOGRAPHIC CONTOUR	---	---
SPOT ELEVATION	---	---
DRAINAGE SLOPE	---	---
STORM SEWER	---	---
DRUMPILE	---	---
CATCH BASIN	---	---
CATCH BASIN MARKER	---	---
STORM MARKER	---	---
FLARED END	---	---
FLARED END W/ R/S RAP	---	---
SILT FENCE	---	---
ROCK CONSTRUCTION ENTRANCE	---	---
EROSION CONTROL BLANKET	---	---
SANITARY SEWER	---	---
SANITARY MARKER	---	---
WATERMAIN	---	---
FIRE HYDRANT W/ VALVE	---	---
GATE VALVE	---	---
ODJ MAN	---	---
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
POWER POLE	---	---

GRADING NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (851-454-0002) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.

CONTRACTOR SHALL STRIP, STOCKPILE AND RE-SPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM 4 INCH DEPTH (COMPACTED) TO DISTURBED AREAS TO BE SODED OR SEED.

THE SITE GRADING OPERATIONS, WHEN COMPLETED, SHALL RESULT IN ALL AREAS BEING GRADED TO "PLAN SUBGRADE ELEVATION". THIS "PLAN SUBGRADE ELEVATION" SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT FOR BUILDING AND PAVEMENT AREAS. THE "PLAN SUBGRADE ELEVATION" IN THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY CHECKING THE PAVEMENT SECTION DETAILS AND REFERRING TO PAVING PLAN FOR LOCATIONS AND LIMITS OF VARIOUS PAVEMENT SECTIONS.

ALL SPOT ELEVATIONS REPRESENT FINISHED SURFACE OR GUTTER LINE GRADES UNLESS OTHERWISE NOTED.

EXISTING TOPOGRAPHY PROVIDED BY RLK INC.

EROSION CONTROL NOTES

ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING OPERATIONS AND BE MAINTAINED UNTIL ALL DISTURBED AREAS ON THE SITE HAVE BEEN RESTORED.

ALL CONSTRUCTION ENTRANCES SHALL BE SURFACED WITH CRUSHED ROCK ACROSS FULL WIDTH, FROM ENTRANCE POINT TO 75 FEET INTO CONSTRUCTION ZONE (REFER TO DETAIL).

ALL SLOPES 3:1 OR STEEPER, NOT TO BE SODED AND GREATER THAN 8 FEET IN HEIGHT, SHALL HAVE EROSION CONTROL FABRIC INSTALLED ON SLOPE PER MNDOT SPEC. 3885. VERIFY RESTORATION METHOD AND SEED MIXTURE. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.

TEMPORARY EROSION CONTROL TO BE PLACED AROUND STORM SEWER STRUCTURES DURING CONSTRUCTION (REFER TO DETAIL).

SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT CONTROL DEVICES AS NECESSARY AND MUST BE REMOVED IF DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

SEDIMENT TRACKED OFF-SITE, AS A RESULT OF CONSTRUCTION TRAFFIC, SHALL BE MINIMIZED AND SWEEP ON A DAILY BASIS.

ALL DISTURBED AREAS SHALL BE RESTORED WITH SOD, SEED, WOOD FIBER BLANKET OR PAVED SURFACE WITH 14 DAYS.

REVISIONS

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR CONSTRUCTION

DATE: 11/11/11

PROJECT: MINNESOTA TRANSFER COMPANY

DESIGNER: RLK INC.

CHECKED: RLK INC.

APPROVED: RLK INC.

PROJECT MANAGER: RLK INC.

CONTRACTOR: AIRGAS INC.

LOCATION: ROSEVILLE, MINNESOTA

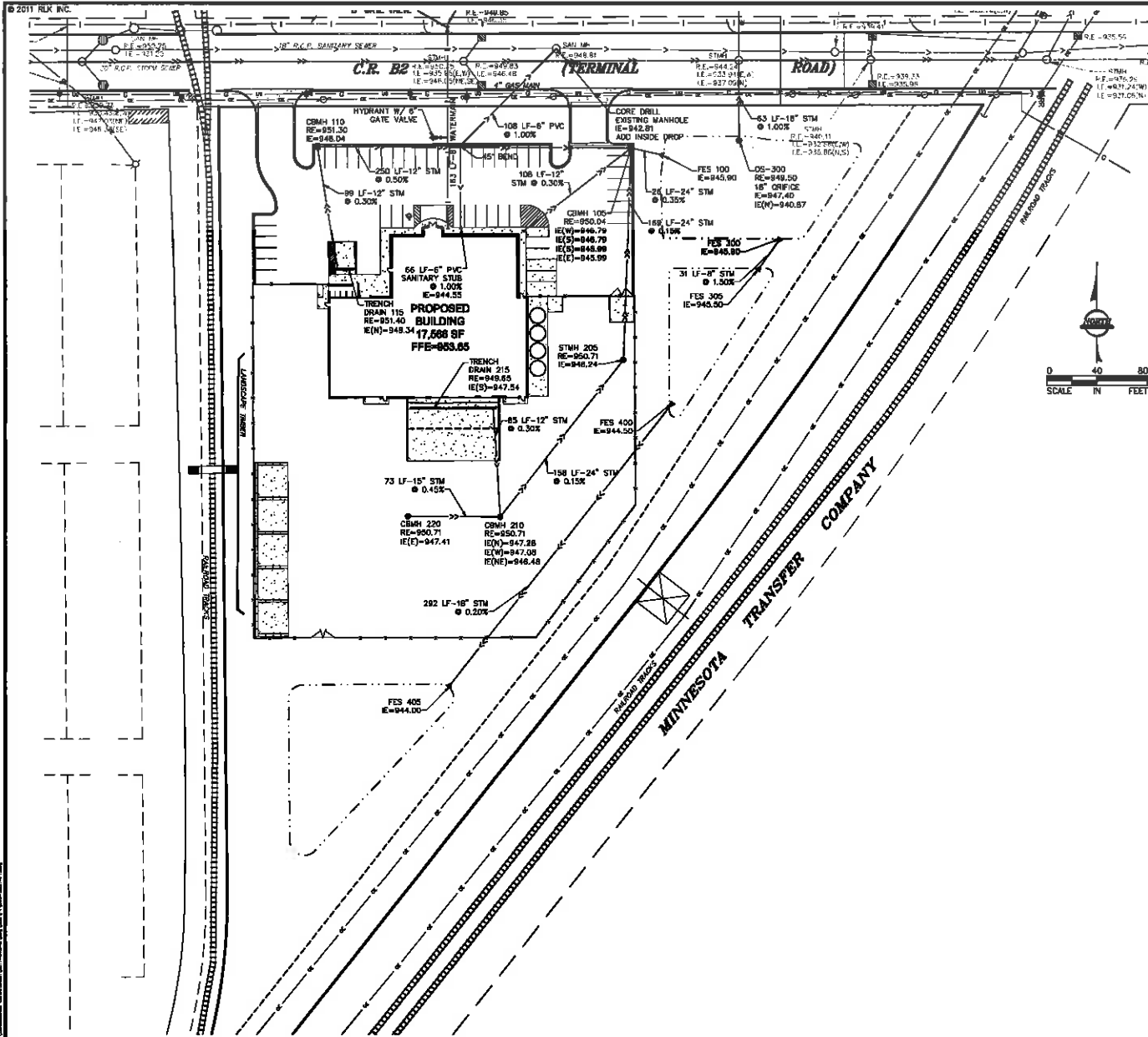
SHEET: C4

DATE: 11/11/11

PROJECT: MINNESOTA TRANSFER COMPANY

CONTRACT: PRELIMINARY GRADING, DRAINAGE AND EROSION CONTROL PLAN

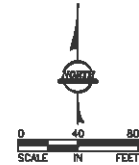
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Call 48 Hours before digging
GOPHER STATE ONE CALL
 Twin Cities Area 651-454-0002
 MN Toll Free 1-800-252-1168

LEGEND

	PROPOSED	EXISTING
PROPERTY LINE	---	---
EASEMENT LINE	---	---
SANITARY SEWER	---	---
SANITARY MANHOLE	○	○
STORM SEWER	---	---
STORM MANHOLE	○	○
CATCH BASIN	○	○
DATCH BASIN MANHOLE	○	○
STORM MANHOLE	○	○
BLIND END	---	---
FLARED END W/ RP RAP	---	---
WATERMAIN	---	---
FIRE HYDRANT W/ VALVE	○	○
GAS VALVE	○	○
GAS MAIN	---	---
OVERHEAD ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
POWER POLE	---	---



UTILITY NOTES

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.

WATER MAIN, SANITARY SEWER & STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.

CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.

ALL WATER PIPE TO BE DUCTILE IRON PIPE (D.I.P.) CLASS 52 UNLESS OTHERWISE NOTED.

ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

TYPICAL HYDRANT CONSISTS OF: HYDRANT, GATE VALVE, 2.5' OF 6" DIP WATERMAIN AND ANY HYDRANT EXTENSION. HYDRANT EXTENSIONS SHALL BE INCIDENTAL.

A MINIMUM OF 7.5 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES.

A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.

ALL SANITARY SEWER PIPE TO BE POLYVINYL CHLORIDE PIPE (P.V.C.) SDR 35 UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.

Recording - Landmark Information Group - Survey - Data

Creating a legacy of
excellence in
surveying and mapping
services for the
state of Minnesota.

DATE _____

REVISIONS

NO.	DATE	DESCRIPTION
1		

PREPARED BY
 AIRGAS INC.
 ROSEVILLE, MINNESOTA

CONSOLIDATED
CONSTRUCTION CO.

SHEET #
 C6
 DATE
 2/10/2011
 BY
 JH

PRELIMINARY UTILITY PLAN



PROPERTY LINE
EASEMENT LINE
SETBACK LINE
CURB LINE
CONCRETE PAVEMENT
RAILROAD
FENCE LINE
LIGHT POLE
POWER POLE
MOTORCAR HARBOR

IRRIGATION NOTES

IRRIGATION NOTES
LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING PLAN TO
THE LANDSCAPE ARCHITECT FOR REVIEW.

IRRIGATION SHALL BE ACCOMPLISHED USING HOSES, WATER TRUCKS, OR OTHER NONPERMANENT MEANS.

IRRIGATION SHALL BE REQUIRED ONLY FOR THE TWO-YEAR PERIOD FOLLOWING PLANT INSTALLATION.

PLANT SCHEDULE

CODE	QTY	COMMON NAME/LATIN NAME	SIZE	ROOT	REMARKS
A	4	AUTUMN BLUE MAPLE <i>Acer x frammontii 'Jefferson'</i>	3.0 CAL	9/8B	STRAIGHT LEADER AND FULL CROWN
B	11	BLACKHILLS SPRUCE <i>Picea glauca densata</i>	8 HT.	B&B	FULL FORM TO GRADE
C	11	WHITE PINE <i>Pinus strobus</i>	8 HT.	B&B	FULL FORM TO GRADE
D	14	AUSTRIAN PINE <i>Pinus nigra</i>	8 HT.	B&B	FULL FORM TO GRADE
E	70	BLACK CHOCOBERRY <i>Aronia melanocarpa spita</i>	#5	CONT.	PLANT 5'-0" O.C.
F	54	ANTHONY WATERER SPIREA <i>Spiraea x bumalda 'Anthony Waterer'</i>	#5	CONT.	PLANT 5'-0" O.C.
G	60	FRAGRANT SUMAC <i>Rhus glabra</i>	#5	CONT.	PLANT 5'-0" O.C.
H	40	DWARF BUSH HONEYUCKLE <i>Erica carnea</i>	#5	CONT.	MASS OR AS SHOW
I	5	ENDLESS SUMMER HYDRANGEA <i>Hydrangea macrophylla 'Endless Summer'</i>	#5	CONT.	PLANT 3'-0" O.C.
J	35	STELLA D'O DAY LILY <i>Heimerocallis 'Stella D'O'</i>	#1	CONT.	PLANT 1'-0" O.C.
K	30	RAJA DAYLILY <i>Heimerocallis 'Raja'</i>	#1	CONT.	PLANT 1'-0" O.C.
L	50	ALPINE CURRANT <i>Ribes alpinum</i>	#5	CONT.	PLANT 5'-0" O.C.
M	7	REDMOND UNDEEN <i>Redmond</i>	3.0 B&B		MASS OR AS SHOW STRAIGHT LEADER AND FULL CROWN

NOTE: THE ABOVE LANDSCAPE TOTALS ARE GIVEN AS A CONVENIENCE TO THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING COUNTS WITH LANDSCAPE PLAN.

LANDSCAPE NOTES

ALL TREES NOT IN PLANTING BEDS TO RECEIVE SHREDDED
HARDWOOD MULCH RINGS WITH A MIN. OF 3' IN DIA.

REFER TO LANDSCAPE DETAIL SHEET FOR GENERAL PLANTING
NOTES, IRRIGATION NOTES AND PLANTING DETAILS.

ALL OPEN SPACE NOT IN PARKING LOT ISLANDS OR PLANTERS
TO BE SEEDED UNLESS OTHERWISE NOTED.

ALL PARKING LOT ISLANDS AND PLANTING BEDS SHALL RECEIVE 4" OF SHREDDED HARDWOOD MULCH OVER LANDSCAPE FABRIC UNLESS OTHERWISE NOTED.

ALL PLANTING AREAS TO BE IRRIGATED AS NOTED ON PLANS.

FIRE HYDRANTS SHALL HAVE MIN. 3' CLEARANCE OF ANY LANDSCAPING TO ENSURE FIRE DEPARTMENT ACCESS.

SOD BOULEVARD AND AREAS WITHIN FRONT YARD SET BACK
TYPICAL. SEED ALL OTHER AREAS AS NOTED.

MNDOT SEED MIX #328 ALL UPLAND AREAS WITH BOTTOM OF INFILTRATION BASIN TO USE MNDOT SEED MIX #260 CT. INSTALL PER MNDOT'S SPECIFICATIONS.

RLK
ROCKWELL INTERNATIONAL

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Communities**

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Rockwell International
1000 Rockwell Drive
Rockwell, NJ 07866
www.rockwellintl.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

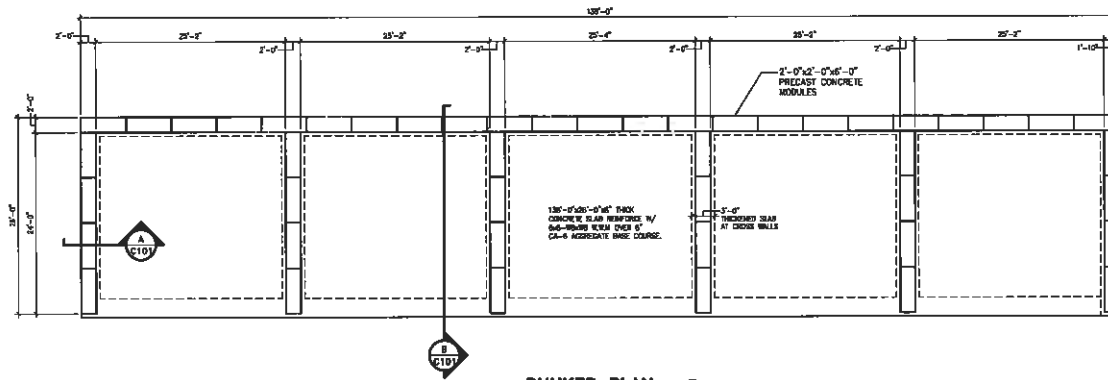
Jeffrey R. Westendorf

REVISIONS

CONSOLIDATED
-CONSTRUCTION CO.-
C.C.

AIRGAS INC.
ROSEVILLE, MINNESOTA
PRELIMINARY

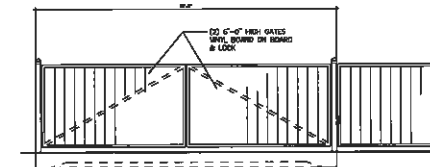
SHEET #
L1



BUNKER PLAN

SCALE: 1/8" = 1'-0"

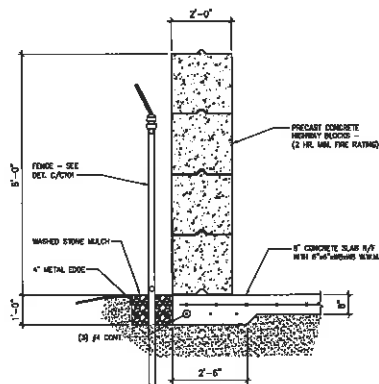
1 C101



**NORTH ELEVATION
DUMPTER ENCLOSURE**

SCALE: 1/4" = 1'-0"

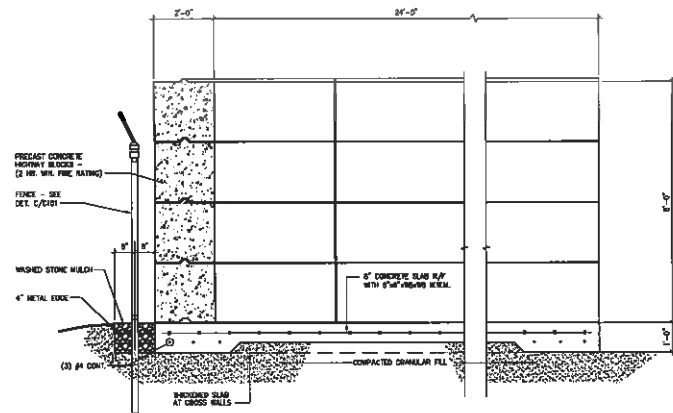
1 C101



BUNKER SECTION

SCALE: 1/2" = 1'-0"

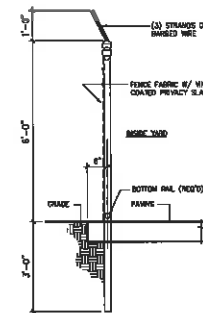
1 C101



BUNKER SECTION

SCALE: 1/2" = 1'-0"

1 C101



FENCE DETAIL

SCALE: 1/2" = 1'-0"

1 C101

THIS SHEET SIZED TO 1 TIMES THE INDICATED SCALE.

CONSOLIDATED
CONSTRUCTION Co., Inc.
1000 N. Highway
Roseville, MN 55127
Phone: 612-796-0000
Fax: 612-796-0001
www.consolidatedconstruction.com



Proposed Building for:
Airgas Inc.
Terminal Road
Roseville, Minnesota

Project Number: 702011

Drawn By: GYV

Issue No: 1

Scale: 1/2" = 1'-0"

McMAHON
CONSULTING ENGINEERS
1000 N. Highway
Roseville, MN 55127
Phone: 612-796-0000
Fax: 612-796-0001
www.mcmahon-engineers.com

DATE	DESCRIPTION
08/01/11	ISSUED FOR CONSTRUCTION

Project Number: 702011

Drawn By: GYV

Issue No: 1

Scale: 1/2" = 1'-0"

1 C101

SITE DETAILS



*Sent via email to:
pat.trudgeon@ci.roseville.mn.us*

March 18, 2011

Pat Trudgeon
Community Development Director
City of Roseville
2660 Civic Center Drive
Roseville, MN 55113

Re: Replatting of Highcrest Park, Roseville, MN

Dear Mr. Trudgeon:

Meritex Enterprises, Inc. is the owner of Highcrest Park, a 42 acre land parcel located at the southeast and southwest corners of Walnut Street and County Road B-2 (Terminal Road) in Roseville, MN. For the past several years, Meritex has been marketing the site for sale. We now have three companies who are interested in purchasing portions of the property. Two of these have evolved to the point where we have submitted preliminary and final subdivision plat applications to the City for approval. Once replatted, these parcels will be sold to the companies who will then construct facilities to meet their business needs.

The purpose of this letter is to request that the City waive the Park Dedication Fee as described in Minnesota Statute 462.358 for all subdivision activity related to Highcrest Park. We request this waiver in that the development of this land as industrial use will not generate demand for new park facilities nor will it have a material impact on any existing park resources. Also, our subdivision plans will not require the addition of any new city utility systems or infrastructure.

Please call at (651) 855-9671 should you have any questions.

Sincerely,
Meritex Enterprises, Inc.

A handwritten signature in black ink that reads 'Daniel K. Williams'.

Daniel K. Williams
Chief Investment Officer

Cc: Thomas Paschke – City Planner, City of Roseville
Brian Lloyd - Associate City Planner, City of Roseville

www.meritex.com
24 University Avenue NE, Suite 200
Minneapolis, MN 55413
651.855.9700 (main)
651.855.9701 (fax)

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota, was held on the 9th day of May 2011 at 6:00 p.m.

The following Members were present:

and Members were absent:

Council Member _____ introduced the following resolution and moved its adoption:

**RESOLUTION NO. _____
A RESOLUTION APPROVING THE FINAL PLAT OF HIGHCREST PARK SECOND
ADDITION (PF11-010)**

WHEREAS, Mertex Enterprises has requested approval of a subdivision 2280 Walnut Street; and

WHEREAS, the Roseville Planning Commission held the public hearing regarding the proposed PRELIMINARY PLAT on April 6, 2011, at which meeting no citizens were present to address the Commission; and

WHEREAS the Roseville Planning Commission voted 7-0 to recommend approval of the proposed PRELIMINARY PLAT based on the comments and findings of the staff report prepared for said public hearing; and

WHEREAS, the Roseville City Council, at its regular meeting on May 9, 2011, received the Planning Commission's recommendation pertaining to the PRELIMINARY PLAT and the City staff report regarding the FINAL PLAT; and

NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of Roseville, Minnesota, that the applications to approve a PRELIMINARY AND FINAL PLAT on property located at 2280 Walnut Street is hereby approved.

The motion for the adoption of the foregoing resolution was duly seconded by Council Member _____ and upon vote being taken thereon, the following voted in favor: ____ ; and none voted against.

WHEREUPON said resolution was declared duly passed and adopted.

[illegible]

WITNESS MY HAND officially as such Manager this 9th day of May 2011.

(SEAL)

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota, was held on the 9th day of May 2011 at 6:00 p.m.

The following Members were present: Willmus; McGehee; Pust; Johnson; and Roe; and none were absent.

Council Member Roe introduced the following resolution and moved its adoption:

**RESOLUTION NO. _____
A RESOLUTION APPROVING OUTDOOR STORAGE AS A CONDITIONAL USE
AT 2400 TERMINAL ROAD (PF11-010)**

WHEREAS, AirGas North Central, applicant for approval of the proposed conditional use, on the property at 2400 Terminal Road, which is legally described as:

Lot 1, Block 1, Highcrest Second Addition

WHEREAS, the Roseville Planning Commission held the public hearing regarding the proposed CONDITIONAL USE on April 6, 2011, voting 7-0 to recommend approval of the use based on the comments and findings of the staff report prepared for said public hearing; and

WHEREAS, the Roseville City Council has determined that approval of the proposed CONDITIONAL USE will not result in adverse impacts to the surrounding properties based on the following findings:

- a. *The proposed use is not in conflict with the Comprehensive Plan.* Planning Division believes that the proposed outdoor storage of cylinders is not in conflict with the Comprehensive Plan, but that it advances land use Policy 11.2 through the CU process established in the zoning ordinance which controls and/or restricts the use of open storage areas in the industrial district.
- b. *The proposed use is not in conflict with a Regulating Map or other adopted plan.* The proposed outdoor storage CU is not in conflict with such plans because none apply to the area surrounding the property.
- c. *The proposed use is not in conflict with any City Code requirements.* The Planning Division has determined that the use of the site as a gas processing and distribution facility is a permitted use and that the outdoor cylinder storage can be addressed under the CU process as well as meet all applicable City Code requirements; moreover, a conditional use approval can be rescinded if the approved storage use fails to comply with all applicable Code requirements or conditions of the approval.
- d. *The proposed use will not create an excessive burden on parks, streets, and other public facilities.* Planning Division staff does not expect such a use to have any noticeable impact on any parks or public infrastructure.
- e. *The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and*

37 *general welfare.* The storage of gas cylinders in concrete bunkers that are 8 feet in height at
38 the rear of the site, which should not be injurious to the surrounding neighborhood, will not
39 negatively impact traffic or property values, and will not otherwise harm the public health,
40 safety, and general welfare of the community.

41 WHEREAS, the Roseville City Council further finds based on the review of specific criteria for
42 outdoor storage:

- 43 **a.** *Areas of outdoor activities or storage shall not be located between the principal use and*
44 *the primary public street.* The proposal meets this requirement with the cylinder
45 bunker/containment area located in the rear yard along the west property line. .
- 46 **b.** *Areas of outdoor activities or storage shall be screened by a solid opaque wall or fence at*
47 *least 8 feet in height.* The outdoor storage of the gas cylinders (trigger for CU) will be
48 contained within 5 bunkers that are 25 foot wide by 25 foot deep and 8 feet in height. The
49 storage bunker achieves the majority of the screening requirement and with the installation
50 of gates or another form of screening, the outdoor storage area will meet code requirements.
51 The Planning Division continues to work with the applicant of the final design and
52 materials to satisfy this requirement.
- 53 **c.** *Aggregates and other granular materials shall be stored in such a way that prevents*
54 *erosion.* With no aggregate or granular material being stored on the premises, this condition
55 is not applicable.
- 56 **d.** *The Planning Commission and City Council shall give special consideration to the height*
57 *of equipment and materials stored outside and its visibility from nearby properties and*
58 *roadways.* The proposal submitted by AirGas and the requirements of the Code (general
59 and through the CU process) will effectively address the visibility issue. Specifically, the
60 storage of the gas cylinders outdoors in concrete bunkers will screen the outdoor storage of
61 cylinder form adjacent business/property view.

62 NOW THEREFORE BE IT RESOLVED, by the Roseville City Council, to APPROVE the
63 proposed outdoor storage at 2400 Terminal Road as a CONDITIONAL USE in accordance with Section
64 §1009.02 of the Roseville City Code, subject to:

- 65 **a.** All cylinders shall be stored vertically unless cylinders are designed for horizontal
66 storage.
- 67 **b.** All cylinders shall have protective metal caps over valves at all times.
- 68 **c.** Non-flammable cylinders shall not be permitted to be stored with flammable cylinders

69 The motion for the adoption of the foregoing resolution was duly seconded by Council Member
70 _____ and upon vote being taken thereon, the following voted in favor: _____ ;
71 and _____ voted against.

72 WHEREUPON said resolution was declared duly passed and adopted.

REQUEST FOR CITY COUNCIL ACTION

DATE: **05/09/11**
ITEM NO: **12 . d**

Department Approval:



Acting City Manager Approval:



Item Description: Request by United Properties for **REZONING** and **PRELIMINARY/FINAL PLAT** for an 80-unit 3-story assisted living facility at 2990, 2996 and a portion of 3008 Cleveland Avenue (**PF11-08**)

1.0 REQUESTED ACTION

1.1 United Properties seek approval of a REZONING and PRELIMINARY/FINAL PLAT to redevelop the property at 2990 and 2996 Cleveland Avenue North (and a portion of cooperative development known as Outlot A) into an 80-unit, 3-story, assisted-living facility.

PROJECT REVIEW HISTORY

- Applications submitted: March 4, 2011; Determined complete: March 10, 2011
- 60-Day Review Deadline: May 4, 2011
- Project Report Recommendation: April 6, 2011
- Planning Commission Action: April 6, 2011
- City Council Action: May 9, 2011

2.0 SUMMARY OF RECOMMENDATION

2.1 The Planning Commission at its duly noticed meeting of April 6, 2011 pertaining to the United Properties public hearing, reviewed and discussed the requested Rezoning and Preliminary Plat. The Commission did not have any concerns or issues with either of the two items and no citizens were present to address the Commission.

2.2 The Commission recommended (7-0) to approve the two requests.

3.0 SUMMARY OF SUGGESTED ACTION

3.1 ADOPT AN ORDINANCE, APPROVING the REZONING of 2990 and 2996 Cleveland Avenue, and Outlot A of Applewood Pointe of Langton Lake, from High Density Residential-1 to High Density Residential-2.

3.2 ADOPT A RESOLUTION APPROVING of the PRELIMINARY/FINAL PLAT, Applewood Pointe of Langton Lake Second Addition.

Please see section 9 for detailed recommendations.

4.0 DEVELOPMENT BACKGROUND

4.1 On September 15, 2008 the City Council approved the original Applewood Pointe senior cooperative at 3010 and 3008 Cleveland Avenue. This approval created an outlot that was to potentially be used in the future for a second development by United Properties.

4.2 On October 13, 2008 the City Council approved the General Concept Planned Unit Development for the Applewood Pointe assisted living facility at 2990 and 2996 Cleveland Avenue and the residual Outlot A.

4.3 On August 17, 2009, United Properties sought and received City Council approval for an amended project that reduced the 93 units of senior cooperative into a two phase development, with the outlot and United Properties continued interest in the assisted living project.

4.4 Since the approvals, United Properties has had to overcome a number of challenges in the housing market and financing such developments. However, the first phase of the senior cooperative is now under construction (underground parking and first floor complete) and United Properties has renewed interest in developing the assisted living project.

4.5 Also since the previous approvals, the City has adopted a new Zoning Ordinance which created two high density districts, a number of new design standards, and eliminated planned unit developments. Based on the parcel size, density, and building placement (very similar to the previous approval), a rezoning and subdivision are necessary before final approvals can be given to the project.

4.6 The proposal for the southern part of the property seeks to develop a 3-story elongated 80-unit assisted-living facility (approximately 40 feet in height) that will integrate several types of senior-care unit types, including memory care, assisted living, and independent living units (with a breakdown of 24 memory care and 56 independent/assisted living with roughly 12 independent and 44 assisted units).

4.7 The proposed building is generally located on eastern portion of the subject property with public entrances from both Cleveland Avenue and planned Langton Lake Drive. Resident parking is located under the building and is accessed via a driveway off of Langton Lake Drive.

4.8 On March 24, 2011, United Properties held the required open house regarding the rezoning and preliminary plat. Two citizens attended the meeting and asked questions related to the project and its relationship to the adjacent senior cooperative. Neither citizen indicated opposition to the project

5.0 REZONING

5.1 The subject Applewood Pointe area has a Comprehensive Plan – Land Use designation of High Density Residential and a zoning classification of High Density Residential-1.

5.2 In October 2008 the General Concept Planned Unit Development sought and received approval for a 93 unit, three and four-story assisted living residence on the existing two residential parcels (2990 and 2996 Cleveland Avenue) and the Outlot platted with the senior cooperative.

5.3 In December 2011 the City Council adopted a new zoning ordinance and in so doing incorporated many of the aspects utilized in planned unit development (PUD) review/approval into the zoning ordinance, but eliminated PUD's. The Council also established a second high density residential district with more flexible setbacks and no density limitations.

- 5.4 The 2011 United Properties proposal seeks the HDR-2 designation to afford greater flexibility to meet similar setbacks to the 2008 General Concept approval, as well as to achieve a similar density to the Concept approval. However, overall units/density has been reduced from 93 units to 80 units and/or 40 units per acre in the 2011 proposal.
- 5.5 An assisted living facility is a permitted use within both the HDR-1 and HDR-2 zoning districts, however there is no differentiation between an assisted living facility, which is more similar to residential living, or to a medical assistance/care facility that operates like a business. This absence of clarity has left the Planning Division to consider how the regulations of the multi-family section, such as density should apply.
- 5.6 After much consideration, the Planning Division determined that the most appropriate option/decision was to rezone the property to HDR-2, which will afford the project similar flexibility consistent with the projects 2008 approval.
- 5.7 Because the property is guided High Density Residential in the 2030 Comprehensive Plan, the rezoning to HDR-2 is consistent with this guiding document.
- 5.8 A copy of the requirements of the HDR-1 and HDR-2 districts has been included as Attachment D.
- 5.9 It should be noted that the rezoning of land, although usually tied to a specific development proposal, cannot include conditions germane to the development. Specifically, the decision to rezone is predicated on whether the request to change the zoning classification from HDR-1 to HDR-2 is consistent with the Comprehensive Plan and appropriate for the site and/or neighborhood.
- 5.10 For informational purposes, the Planning Division has included the current development proposal for the Applewood Pointe assisted living facility.
- 5.11 The Planning Division has concluded that it is appropriate to rezone the subject property from HDR-1 to HDR-2 to support the proposed project by United Properties and provide greater flexibility to the project similar to the projects previous General Concept PUD approval. Further, the DRC has reviewed the preliminary plat and its associated documents and finds that there are no major issues or concerns regarding this proposal and the DRC will continue to work with United Properties on their final plan submittal and approval.

6.0 PRELIMINARY/FINAL PLAT

- 6.1 The proposed preliminary plat Applewood Pointe of Langton Lake Second Addition encompasses Outlot A of Applewood Pointe of Langton Lake and the properties at 2990 and 2996 Cleveland Avenue and Lot 2, Block 1 Applewood Pointe of Langton Lake. Lot 1, Block 1, Applewood Pointe of Langton Lake Second Addition, becomes the new lot, which is very similar to that proposed in 2008 and is approximately 2 acres in size, while Lot 2, Block 1 becomes the lot for the second phase of the senior cooperative.
- 6.2 A component of the preliminary plat includes the dedication of Cleveland Avenue to the width required by Ramsey County. This dedication of public right-of-way lies adjacent to 2990 and 2996 Cleveland Avenue. Applewood Pointe of Langton Lake dedicated its required public right-of-way for the Outlot and area adjacent to 3010 Cleveland Avenue.
- 6.3 The proposal also includes a number of plans, more tied to the site development than the

preliminary plat itself. These include utility, grading, drainage, and landscape plans.

6.4 The proposed utility and drainage plans are currently similar to those supported in 2009. United Properties is in the process of reviewing these plans to determine whether modifications will be necessary. Below is a brief description of these plans, which are attached as Attachment F:

- a. Storm Water: Storm water will be collected and treated on site. The conceptual storm water management plan includes porous pavers in the parking lot, enclosed garden, and patio/deck to decrease overall impervious surface. The plan also shows a storm water pond at the southeastern corner of the site.
- b. Sewer and Water: Sewer and water will be provided by a water main and sanitary sewer connection located under Langton Lake Drive.
- c. Private Utilities: The private utilities, such as electricity, cable, telephone, and natural gas, will be designed and coordinated through the Public Works Department to be underground and utilize a joint trenching system, where applicable.

6.5 United Properties has submitted their tree preservation plan to the Planning Division for consideration. The Planning Division will work with United Properties on the plan and ultimate approval with conditions, prior to the issuance of a building permit.

6.6 Regarding the Final Plat, in instances where the land division is a simple division of land, as in the case of the United Properties request, the Planning Division combines the Preliminary and Final Plats.

6.7 Similarly, the proposals typically do not have any public improvements associated with their approval (as is the case here) and are typically no more than a couple of lots (also the case here) that have a very basic grading and drainage plan.

6.8 The Development Review Committee (DRC) met on March 10 and 17, 2011 to review the preliminary and final plats and associated documents. The Planning Division and the Engineering Division also reviewed plans after the Planning Commission meeting of April 6, 2011 for compliance with previous conditions. The DRC has accepted the final plat and associated documents as meet all requirements necessary for City Council approval of the Preliminary and Final Plats.

7.0 PLANNING COMMISSION ACTION

7.1 At their meeting on April 6, 2011, the Planning Commission held the duly noticed public hearing regarding the United Properties requests. No citizens addressed the Commission.

7.2 The Commission did have a couple of brief questions regarding the assisted living facility and its operation, but no specific question regarding the rezoning or preliminary plat.

7.3 The Planning Commission voted (7-0) to recommend to the City Council approval of the Rezoning and the Preliminary Plat.

8.0 STAFF COMMENTS/RECOMMENDATION

8.1 The Development Review Committee has reviewed the Preliminary and Final Plat and subsequent site plans, specifically grading, utility and drainage and has determined that all meet

the City’s requirements necessary to support final approval.

8.2 It is worth noting the this project requires approval of the grading/drainage plan from the Rice Creek Watershed and all plans will require final approvals from the City through the building permitting process.

8.3 The City Code regarding Park Dedication reads as follows:

1103.07: PARK DEDICATION:

A. Condition to Approval: As a condition to the approval of any subdivision of land in any zone, including the granting of a variance pursuant to Section 1104.04 of this Title, when a new building site is created in excess of one acre, by either platting or minor subdivision, and including redevelopment and approval of planned unit developments, the subdivision shall be reviewed by the Park and Recreation Commission. The Commission shall recommend either a portion of land to be dedicated to the public for use as a park as provided by Minnesota Statutes 462.358, subdivision (2)(b), or in lieu thereof, a cash deposit given to the City to be used for park purposes; or a combination of land and cash deposit, all as hereafter set forth.

B. Amount to be Dedicated: The portion to be dedicated in all residentially zoned areas shall be 10% and 5% in all other areas.

C. Utility Dedications Not Qualified: Land dedicated for required street right of way or utilities, including drainage, does not qualify as park dedication.

D. Payment in lieu of dedication in all zones in the city where park dedication is deemed inappropriate by the City, the owner and the City shall agree to have the owner deposit a sum of money in lieu of a dedication. The sum shall be reviewed and determined annually by the City Council by resolution. (Ord. 1061, 6-26-1989)

E. Park Dedication Fees may, in the City Council’s sole discretion, be reduced for affordable housing units as recommended by the Housing and Redevelopment Authority for the City of Roseville. (Ord. 1278, 02/24/03)

8.4 On December 2, 2008, the Roseville Park and Recreation Commission voted to recommend to the City Council that the proposed United Properties 93-unit assisted living project be required to provide the City a payment in lieu of land dedication in the amount of \$3,000 per unit. In recent discussions with the Park and Recreation Director, he was of the opinion that the project would still be responsible for the \$3,000 per unit or \$240,000.

9.0 SUGGESTED CITY COUNCIL ACTION

9.1 ADOPT AN ORDINANCE, APPROVING the REZONING of 2990 and 2996 Cleveland Avenue and Outlot A, from High Density Residential-1 (HDR-1) to High Density Residential -2 (HDR-2).

9.2 ADOPT A RESOLUTION APPROVING the PRELIMINARY/FINAL PLAT and supportive documents for United Properties pertaining to an assisted living facility.

Prepared by: Thomas Paschke, City Planner (651-792-7074)

Attachments: A: Area map B: Aerial photograph
C: Applicant narrative D: HDR District requirements
E: Proposed site plans F: Preliminary plat

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191
192

G: Final plat
I: Plat resolution

H: Rezoning ordinance

Attachment A: Location Map for Planning File 11-008

Site Location

Legend

- Site Location (Red Rectangle)

Map Data

Addresses and Zoning Designations:

- 3045: BP / O / BP
- 3050: BP / O / BP
- 3030: BP / O / BP
- 3015: BP / O / BP
- 2985: BP / O / BP
- 2990 - 3000: BP / O / BP
- 2955: BP / O / BP
- 2960: BP / O / BP
- 3008: HR / HDR-1
- 2996: HR / HDR-1
- 2990: HR / HDR-1
- 2958 - 2972: CMU / CMU
- 2974 - 2992: CMU / CMU
- 2980: CMU / CMU
- 2982: CMU / CMU
- 2984: CMU / CMU
- 2986: CMU / CMU
- 2988: CMU / CMU
- 2990: CMU / CMU
- 2992: CMU / CMU
- 2994: CMU / CMU
- 2996: CMU / CMU
- 2998: CMU / CMU
- 3000: CMU / CMU
- 3002: CMU / CMU
- 3004: CMU / CMU
- 3006: CMU / CMU
- 3008: CMU / CMU
- 3010: CMU / CMU
- 3012: CMU / CMU
- 3014: CMU / CMU
- 3016: CMU / CMU
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- 3024: CMU / CMU
- 3026: CMU / CMU
- 3028: CMU / CMU
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- 3038: CMU / CMU
- 3040: CMU / CMU
- 3042: CMU / CMU
- 3044: CMU / CMU
- 3046: CMU / CMU
- 3048: CMU / CMU
- 3050: CMU / CMU
- 3052: CMU / CMU
- 3054: CMU / CMU
- 3056: CMU / CMU
- 3058: CMU / CMU
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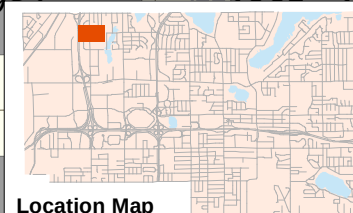
Prepared by:
Community Development Department
Printed: March 2, 2011



Data Sources
 * Ramsey County GIS Base Map (2/28/2011)
 For further information regarding the contents of this map contact:
 City of Roseville, Community Development Department,
 2660 Civic Center Drive, Roseville MN

Disclaimer

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mapdoc: planning commission location.mxd

Attachment B: Aerial Map of Planning File 11-008



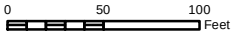
Prepared by:
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Printed: March 2, 2011



Site Location

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* Aerial Data: Kucera (4/2009)
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Project

United Properties Residential has entered into a Purchase Agreement for approximately 1.31 acres located just south of our existing Applewood Pointe senior cooperative parcel. The property runs along Cleveland Avenue. The site is bordered by our existing site to the north, the City-owned wetland to the east, an industrial/light warehouse facility to the south, and Cleveland Avenue to the west. The site contains three homes, one of which is not occupied, and is in poor condition. We are proposing to combine the 1.31 acre site with .53 acres of the previously acquired parcel and develop this 1.84 acre site as an assisted living building.

The assisted living facility will be a three story, approximately 80-unit building. Although we have not determined a final unit mix, the plans submitted show a building with 56 independent/assisted and 24 memory care units. Given recent meetings with assisted living operators, the final mix will include fewer independent units than assisted care units. The building will have memory care units, common area, and underground parking for staff and residents on the garage level, and independent/assisted living units and memory care units on the three floors above grade. Surface parking includes 30 stalls on the west side of the building (along Cleveland Avenue). There are 32 below grade stalls in the garage.

The exterior of the building will consist of stone and maintenance-free lap siding complimented with stucco accents. The design will be compatible with the adjacent cooperative building. The roof will be asphalt shingled. The interior will include a serving kitchen, dining area, beauty/barber area, staff lounge, a two-story entrance lobby with multiple seating areas, a community room, and an office for the on-site manager and nurses. Additional amenities include an exercise room, game room, and an outside patio. Residents will enjoy a social, interactive, and healthy lifestyle.

United Properties received rezoning and preliminary PUD approval from the Planning Commission and City Council in 2008 for a plan directly similar to the proposed project. We are proposing a rezoning to HDR-2 to make the site consistent with those approvals.

We are excited about the opportunity to expand our current independent senior cooperative project at this site. Phase I of our Applewood Pointe Cooperative will open in September. Focus groups from our Cooperative buyers have indicated a very strong desire to have assisted living adjacent to their site. United Properties will partner with an existing assisted living operator in all phases of design and development, as well as ongoing operations of this Assisted Living community.



where they will be located. Relocations of dwellings require a relocation permit.

1004.04 Existing Setbacks

If existing houses on 50% or more of the frontage of any block have a predominant front yard setback less than the minimum required in this chapter, any new construction on that block frontage may have a reduced front yard setback equal to the average front yard setback of the two adjacent houses on the same side of the street.

1004.05 One- and Two-Family Design Standards

A. One- and Two-Family Design Standards: The standards in this section are applicable to all one- and two-family buildings, with the exception of accessory dwelling units. The intent of these standards is to create streets that are pleasant and inviting, and to promote building faces which emphasize living area as the primary function of the building or function of the residential use.

1. Garage doors shall not occupy more than 40% of the building facade (total building front); and
2. Garage doors shall be set back at least 5 feet from the primary building face predominant portion of the principal use.

B. Requirements Apply to All New Construction: On lots with physical constraints, such as lakefront lots, where the Community Development Department determines that compliance with these requirements is impactful, the Community Development Department may waive the requirements and instead require design enhancements to the garage doors to ensure that the purpose of the requirements is achieved. Design enhancements required for garage doors where the preceding requirements cannot be met may include such things as paint, raised panels, decorative windows, and other similar treatments to complement the residential portion of the facade.

1004.06 Multi-Family Design Standards

The standards in this Section are applicable to all structures that contain three or more units. Their intent is to encourage multi-family building design that respects its context, incorporates some of the features of one-family dwellings within the surrounding neighborhood, and imparts a sense of individuality rather than uniformity.

The following standards apply to new buildings and major expansions (i.e., expansions that constitute 50% or more of building floor area).

Design standards apply only to the portion of the building or site that is undergoing alteration.

A. Orientation of Buildings to Streets: Buildings shall be oriented so that a primary entrance faces one of the abutting streets. In the case of corner lots, a primary entrance shall face the street from which the building is addressed. Primary entrances shall be defined by scale and design.

B. Street-facing Facade Design: No blank walls are permitted to face public streets, walkways, or public open space. Street-facing facades shall incorporate offsets in the form of projections and/or recesses in the facade plane at least every 40 feet of facade frontage. Wall offsets shall have a minimum depth of 2 feet. Open porches and balconies are encouraged on building fronts and may extend up to 8 feet into the required setbacks.

In addition, at least one of the following design features shall be applied on a street-facing facade to create visual interest:

- Dormer windows or cupolas;
- Recessed entrances;
- Covered porches or stoops;
- Bay windows with a minimum 12-inch projection from the facade plane;
- Eaves with a minimum 6 inch projection from the facade plane; or
- Changes in materials, textures, or colors.

C. Four-sided Design: Building design shall provide consistent architectural treatment on all building walls. All sides of a building must display compatible materials, although decorative elements and materials may be concentrated on street-facing facades. All facades shall contain window openings.

D. Maximum Length: Building length parallel to the primary abutting street shall not exceed 160 feet without a visual break such as a courtyard or recessed entry.

E. Landscaping of Yards: Front yards must be landscaped according to Chapter 1011, Property Performance Standards.

F. Detached Garages: The exterior materials, design features, and roof forms of garages shall be compatible with the principal building served.

G. Attached Garages: Garage design shall be set back and defer to the primary building face (predominant portion of the principal use – does not include garage door). Front loaded garages (toward the front street), if provided shall be set back a minimum of 5 feet from the primary building face.



Building entrances oriented to the street; facades are articulated



Building with street-facing facade articulated by offsets, changes in materials, and window placement



All sides of building display compatible materials and consistent detailing; all sides have windows



Tuck-under garages take access from rear of building

- H. **Surface Parking:** Surface parking shall not be located between a principal building front and the abutting primary street except for drive/circulation lanes and/or handicapped parking spaces. Surface parking adjacent to the primary street shall occupy a maximum of 40% of the primary street frontage and shall be landscaped according to Chapter 1019, Parking and Loading Areas.



Attached garage doors occupy less than 50% of building front

1004.07 Table of Residential Uses

Table 1004-2 lists all permitted and conditional uses in the residential districts.

- A. Uses marked as “P” are permitted in the districts where designated.
- B. Uses marked with a “C” are allowed as conditional uses in the districts where designated, in compliance with all applicable standards.
- C. Uses marked as “NP” are not permitted in the districts where designated.
- D. Uses marked with a “Y” in the “Standards” column indicates that specific standards must be complied with, whether the use is permitted or conditional. Standards for permitted uses are included in Chapter 1011, Performance Standards; standards for conditional uses are included in Chapter 1009, Procedures.

Table 1004-2	LDR-1	LDR-2	MDR	HDR-1 HDR-2	Standards
Residential - Family Living					
Dwelling, one-family detached	P	P	P	NP	
Dwelling, two-family detached (duplex)	NP	P	P	NP	
Dwelling, two-family attached dwelling (twinhome)	NP	P	P	NP	
Dwelling, one-family attached (townhome, rowhouse)	NP	C	P	P	
Dwelling, multi-family (3-8 units per building)	NP	NP	P	P	
Dwelling, multi-family (8 or more units per building)	NP	NP	C	P	
Manufactured home park	NP	NP	NP	C	Y
Dwelling unit, accessory	C	C	P	NP	Y
Live-work unit	NP	NP	NP	C	Y
Residential - Group Living					
Community residential facility, state licensed, serving 1-6 persons	P	P	NP	NP	Y
Community residential facility, state licensed, serving 7-16 persons	NP	NP	C	C	Y
Nursing home	NP	NP	C	C	Y
Assisted living facility	NP	NP	P	P	Y

Table 1004-2	LDR-1	LDR-2	MDR	HDR-1 HDR-2	Standards
Accessory Uses					
Bed and breakfast establishment	C	C	NP	NP	Y
Home occupation	P	P	P	P	Y
Day care facility, family	P	P	P	P	Y
Day care facility, group family	C	C	C	C	Y
Day care center	NP	NP	C	C	Y
Roomer, boarder	P	P	P	P	Y
Accessory Buildings and Structures					
Accessibility ramp and other accommodations	P	P	P	P	
Detached garages and off-street parking space	P	P	P	P	
Gazebo, arbor, patio, play equipment, treehouse, chicken coop, etc.	P	P	P	P	
Renewable energy system	P	P	P	P	Y
Swimming pool, hot tub, spa	P	P	P	P	Y
Tennis and other recreational courts	P	P	P	P	Y
Garden shed and similar buildings for storage of domestic supplies and equipment	P	P	P	P	Y
Communications equipment - shortwave radio and TV antennas	P	P	P	P	Y
Temporary Uses					
Temporary structure, construction sites	P	P	P	P	Y
Garage and boutique sales	P	P	P	P	Y
Personal storage container	P	P	P	P	Y
Seasonal garden structure	P	P	P	P	Y
Private garden, community garden	P	P	P	P	Y

1004.08 Low Density Residential (One-Family) - 1 (LDR-1) District

- A. Statement of Purpose:** The LDR-1 District is designed to be the lowest density residential district. The intent is to provide for a residential environment of predominantly low-density, one-family dwellings, along with related uses such as public services and utilities that serve the residents in the district. The district is established to stabilize and protect the essential characteristics of existing residential areas, and to protect, maintain, and enhance wooded areas, wetlands, wildlife and plant resources, and other sensitive natural resources.

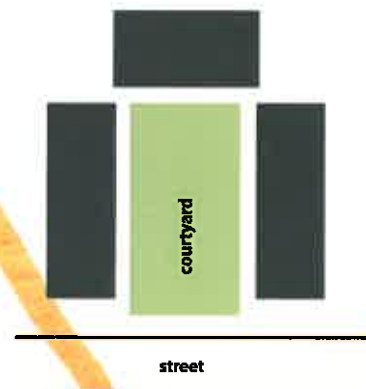
attached dwellings, small multi-family buildings, two-family and small-lot, one-family dwellings, along with related uses such as public services and utilities that serve the residents in the district. The district is intended to promote flexible development standards for new residential developments and to allow innovative development patterns, consistent with the Comprehensive Plan.

B. Dimensional Standards:

Table 1004-5	One-Family	Two-Family	Attached	Multifamily
Maximum density	12 Units/net acre - averaged across development site			
Minimum density	5 Units/net acre - averaged across development site			
Minimum lot area per unit	4,800 Sq. Ft.	3,600 Sq. Ft.	3,600 Sq. Ft.	3,600 Sq. Ft.
Minimum lot width	40 Feet	30 Feet/unit	N/a	N/a
Maximum building height	30 Feet	30 Feet	35 Feet	40 Feet
Maximum improvement area	65%	65%	65%	65%
Minimum front yard building setback				
Street	30 Feet	30 Feet	30 Feet	30 Feet
Interior courtyard	15 Feet	15 Feet	15 Feet	15 Feet
Minimum side yard building setback				
Interior	5 Feet	5 Feet	8 Feet (end unit)	10 Feet
Corner	10 Feet	10 Feet	15 Feet	20 Feet
Reverse corner	Equal to existing front yard of adjacent lot, but not greater than 30 feet			
Minimum periphery setback	30 Feet	30 Feet	30 Feet	30 Feet

C. Building Arrangement: Buildings may be organized in several ways, including the examples in this section:

1. Arranged along the street without a common open space, as is typical for most residential lots. Open space is provided on individual lots.
2. Arranged around a common courtyard that faces the street, with parking areas taking access off a shared drive to the side and rear of the buildings (see diagram). The area of the courtyard is counted towards the overall density, toward lot coverage calculations, and as part of the lot area per unit.
3. Arranged along the street with a common open space area to the rear or side of the buildings, as is common in townhouse and multi-family developments. The open space area(s) for resident use is counted towards the overall density, toward lot coverage calculations, and as part of the lot area per unit.



1004.11 High Density Residential Districts (HDR-1 and HDR-2)

- A. **Statement of Purpose:** The HDR districts are designed to provide an environment of predominantly high-density

housing types, including manufactured-home communities, large and small multi-family buildings, and single-family attached dwellings, at an overall density exceeding 12 units per acre, along with along with related uses such as public services and utilities that serve the residents in the district. The district is intended to promote flexible development standards for new residential developments and to allow innovative development patterns, consistent with the Comprehensive Plan.

B. Dimensional Standards:

Table 1004-6	HDR-1		HDR-2
	Attached	Multifamily	Multifamily
Maximum density	24 Units/net acre		None
Minimum density	12 Units/net acre		24 Units/net acre
Maximum building height	35 Feet	65 Feet	95 Feet
Maximum improvement area	75%	75%	85%
Minimum front yard building setback			
Street	30 Feet	30 Feet	10 Feet
Interior courtyard	10 Feet	10 Feet	15 Feet
Minimum side yard building setback			
Interior	8 Feet (end unit)	20 Feet, when adjacent to ldr-1 or ldr-2 10 Feet, all other uses	20% Height of the building ^a
Corner	15 Feet	20 Feet	20% Height of the building ^a
Minimum rear yard building setback	30 Feet	30 Feet	50% Height of the building

- a The City may require a greater or lesser setback based on surrounding land uses.

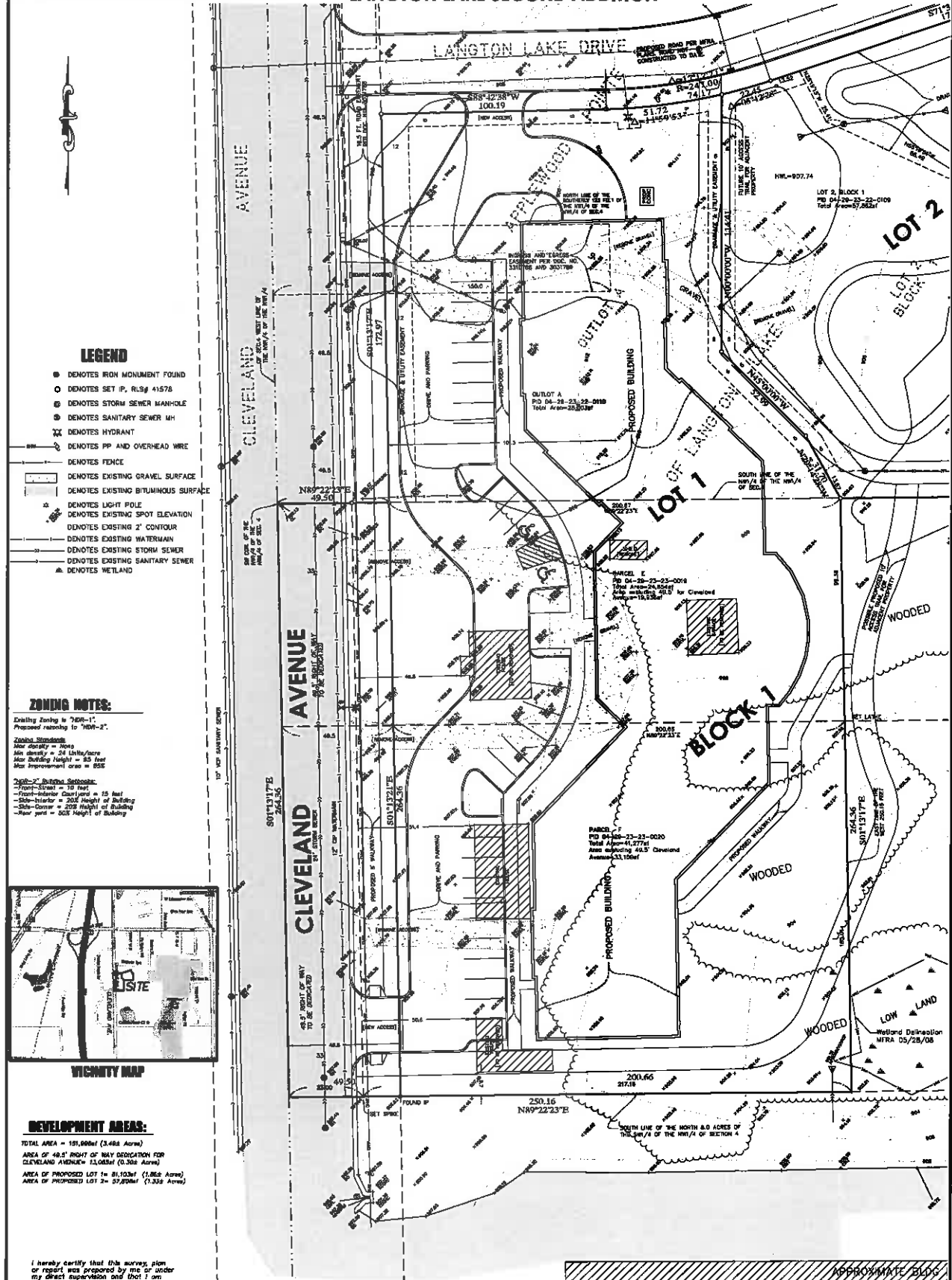
C. Building Arrangement: Buildings may be organized in several ways, including the examples in this section:

1. Arranged along the street without a common open space. Open space is provided on individual lots or on privately defined spaces to the rear of attached dwellings.
2. Arranged around a common courtyard that faces the street, with parking areas taking access off a shared drive to the side and rear of the buildings. The area of the courtyard is counted towards the overall density, toward lot coverage calculations, and as part of the lot area per unit.
3. Arranged along the street with a common open space area to the rear or side of the buildings, as is common in townhouse and multi-family developments. The open space area(s) for resident use is counted towards the overall density, toward lot coverage calculations, and as part of the lot area per unit.

PRELIMINARY PLAT

OF: APPLEWOOD POINTE OF LANGTON LAKE SECOND ADDITION

Attachment E



LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES SET P, R, Sg 41578
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SANITARY SEWER MH
- ⊙ DENOTES HYDRANT
- DENOTES PP AND OVERHEAD WIRE
- DENOTES FENCE
- DENOTES EXISTING GRAVEL SURFACE
- DENOTES EXISTING BITUMINOUS SURFACE
- ⊙ DENOTES LIGHT POLE
- ⊙ DENOTES EXISTING SPOT ELEVATION
- ⊙ DENOTES EXISTING 2" CONTOUR
- DENOTES EXISTING WATERMAIN
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING SANITARY SEWER
- ⊙ DENOTES WETLAND

ZONING NOTES:

Dwelling Zoning is "R20-1".
Proposed zoning is "R20-2".

Zoning Standards:
 Max Density = 10
 Min Density = 24 Units/Acre
 Max Building Height = 35 feet
 Max Improvement Area = 85%

7-foot-2" Setback Standards:
 -Front-Setback = 15 feet
 -Front-Setback (Corner) = 15 feet
 -Side-Setback = 20 feet Height of Building
 -Side-Corner = 20 feet Height of Building
 -Rear yard = 50% Height of Building



VICINITY MAP

DEVELOPMENT AREAS:

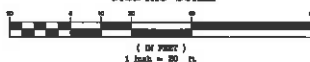
TOTAL AREA = 151,000sf (3.486 Acres)
 AREA OF 48.5' RIGHT OF WAY DEDICATION FOR
 CLEVELAND AVENUE = 13,083sf (0.308 Acres)
 AREA OF PROPOSED LOT 1 = 81,103sf (1.866 Acres)
 AREA OF PROPOSED LOT 2 = 57,814sf (1.332 Acres)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 3/28/11 License No. 41578

J. E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel: (651) 361-8200 Fax: (651) 361-8701

GRAPHIC SCALE



BENCHMARKS

The Net of Hydrobia as shown on Engineer Avenue per City of Roseville Engineering Dept.

NOTES

- Trees Identified and tagged by NICHOL FORESTRY (763)767-1142 (including Parcel C and F)
- Wetland shown was delineated by MRA on 5/28/08
- Durb shall follow all top and back of curb.
- This survey was prepared without the benefit of title work.
- Easements, encroachments, and improvements may exist in addition to those shown herein. This survey is subject to revision upon receipt of a Current Title Insurance commitment or attorney's title opinion.
- Field survey completed by J.E. Rud and Sons in February 2008.
- Underground utilities from the City of Roseville Engineering Dept. & MRA CAD files.

PROPERTY DESCRIPTION

PROPERTY DESCRIPTION:
 Lot 2, Block 1 and Outlot A, APPLEWOOD POINTE OF LANGTON LAKE, Ramsey County, Minnesota.

PROPERTY DESCRIPTION OF PARCEL E:
 The West 250.13 feet of the North 3/4 acre of the Southwest Quarter of the Northwest Quarter of Section 4, Township 23, Range 23, Ramsey County, Minnesota.

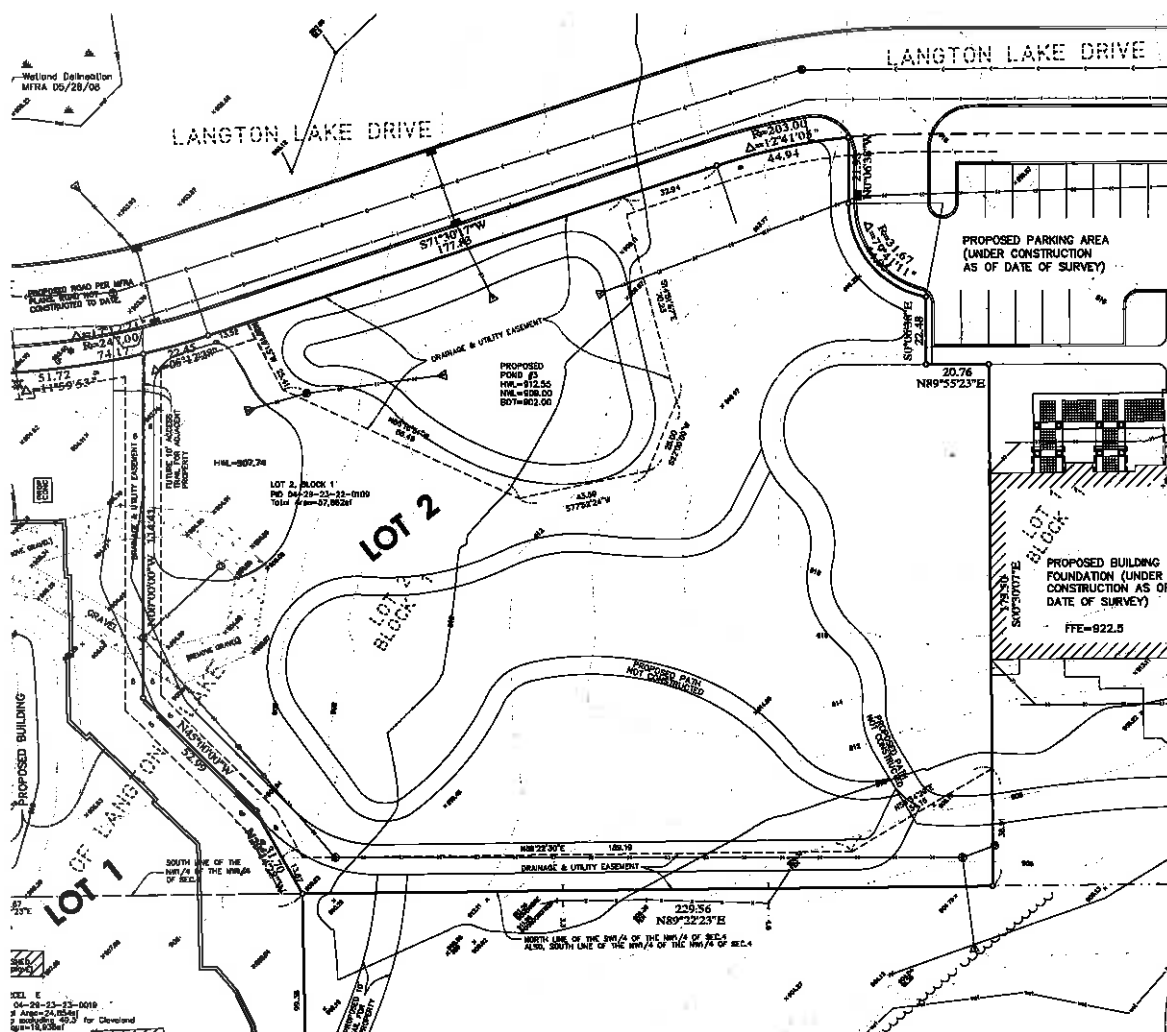
PROPERTY DESCRIPTION OF PARCEL F:
 The West 250.13 feet of the South 3/4 acre of the North 3/4 acre of the Southwest Quarter of the Northwest Quarter of Section 4, Township 23, Range 23, Ramsey County, Minnesota.

FOR: UNITED PROPERTIES

- DENOTES IRON MONUMENT FOUND
- DENOTES SET IP, RUGS 41578
- ⊗ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MH
- ⊗ DENOTES HYDRANT
- — — — — DENOTES PP AND OVERHEAD WIRE
- — — — — DENOTES FENCE
- DENOTES EXISTING GRAVEL SURFACE
- DENOTES EXISTING BITUMINOUS SURFACE
- ★ DENOTES LIGHT POLE
- ⊙ DENOTES EXISTING SPOT ELEVATION
- — — — — DENOTES EXISTING 2' CONTOUR
- — — — — DENOTES EXISTING WATERMAIN
- — — — — DENOTES EXISTING STORM SEWER
- — — — — DENOTES EXISTING SANITARY SEWER
- ⊗ DENOTES WET AND



WIGNITY MAP



04-28-23-23-0019
 11 Aug-24, 1954
 7 including 49.5 for Cleveland
 10-18, 1938

GRAPHIC SCALE

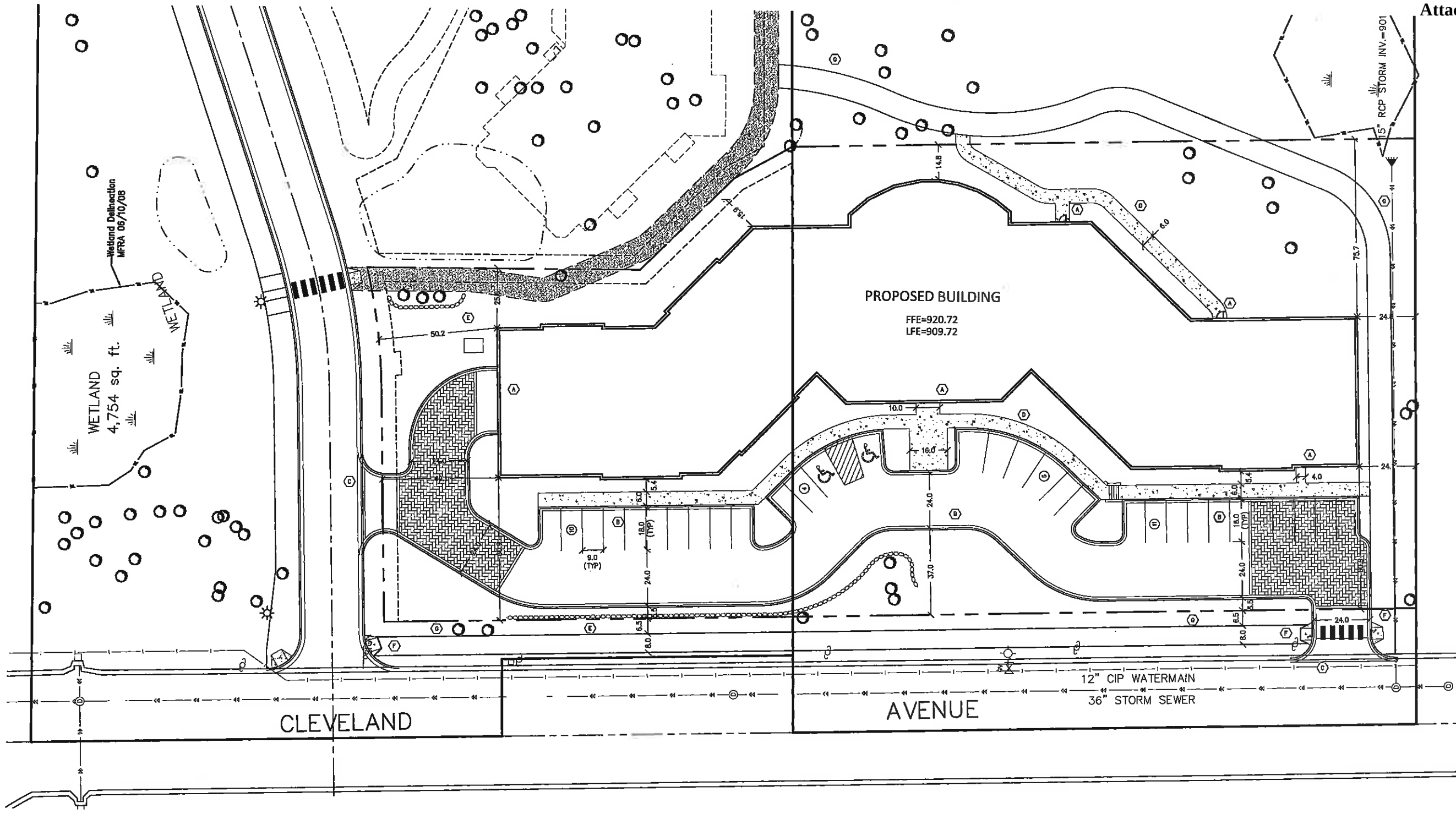


E. G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

BRANCH BY: DMS	JOB NO: 0608387	DATE: 1/28/77
CHECK BY: JFR	SPANNED: ☐	
1		
2		
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NO. DATE	DESCRIPTION	BY

Source: CASADep, JUNE09PP, SECONE ABITION08093-PREL-PLAT,mo 3/4/2008 20:04 AM CST

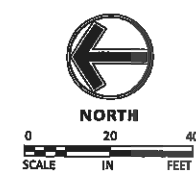
SHEET 2 OF 2 SHEETS

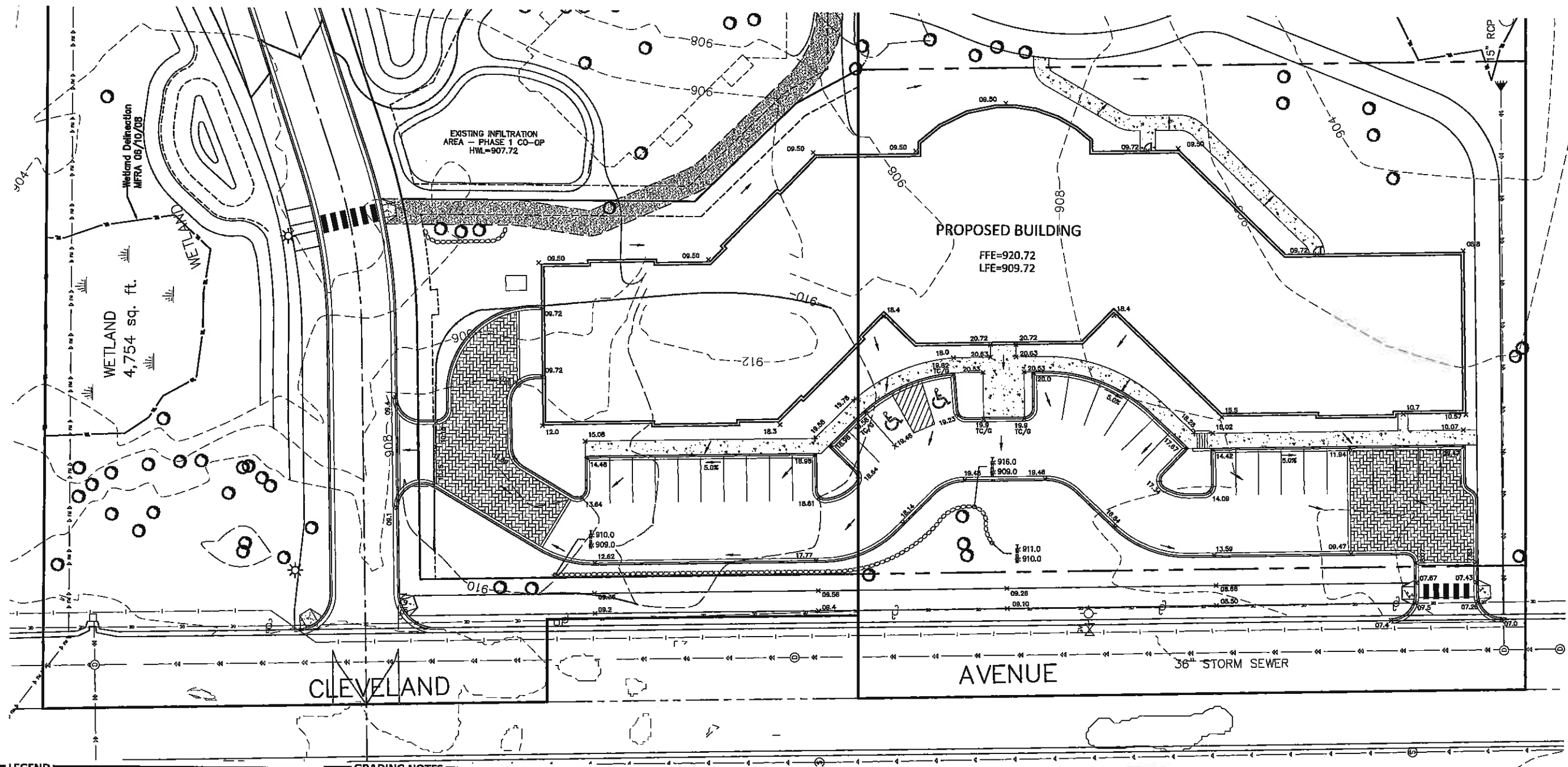


LEGEND	
PROPERTY LIMIT	PROPOSED
CURB & GUTTER	EXISTING
EASEMENT	
BUILDING	
RETAINING WALL	
WETLAND LIMITS	
TREELINE	
SAWCUT LINE	
SIGN	
PIPE BOLLARD	
NUMBER OF PARKING STALLS PER ROW	
KEY NOTE	
	STANDARD DUTY ASPHALT PAVING
	POROUS CONCRETE PAVING
	CONCRETE PAVING

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. BACK OF CURB IS SHOWN GRAPHICALLY ONLY.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE ARE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS ISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.

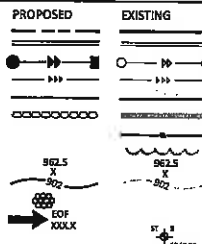
- KEY NOTES**
- BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS.
 - B-612 CONCRETE CURB AND GUTTER.
 - CONCRETE APRON
 - CONCRETE SIDEWALK
 - SEGMENTAL BLOCK RETAINING WALL
 - ACCESSIBLE RAMP
 - 10' BITUMINOUS PATH





LEGEND

PROPERTY LIMIT
CURB & GUTTER
STORM SEWER
DRAINAGE
BUILDING
RETAINING WALL
WETLAND LIMITS
TREELINE
SPOT ELEVATION
CONTOUR
RIP RAP
OVERFLOW ELEV.
SOIL BORINGS



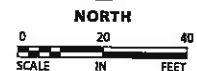
GRADING NOTES

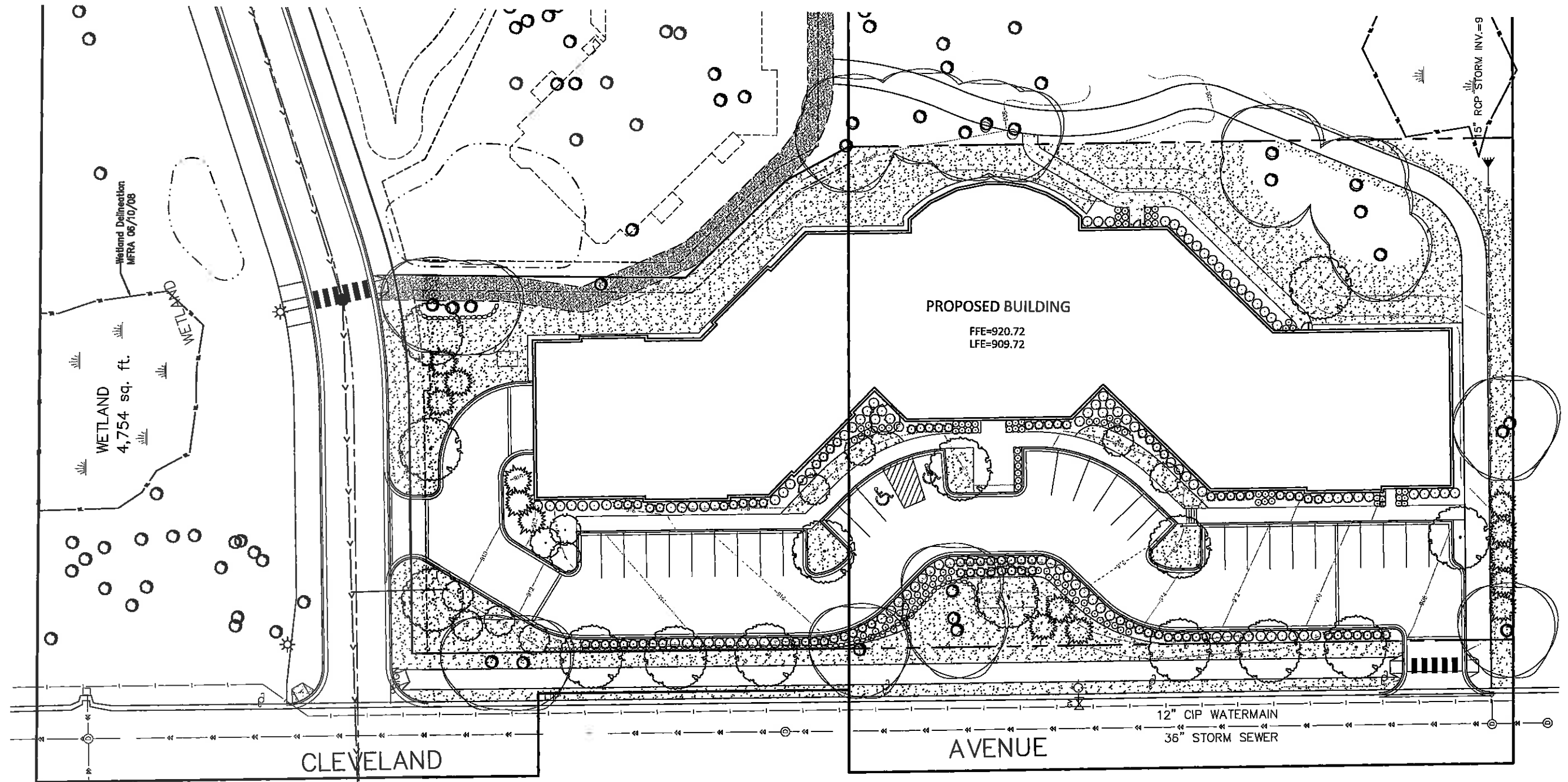
- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE BUTTER GRADE.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 3% (1:32), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESSIBLE SPACE SHALL BE IN 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT.
 - THE CONTRACTOR IS CAUTIONED THAT "THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL." THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHANCE 38-02 TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA AT 1-800-252-1169). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
- COMPANY: _____
ADDRESS: _____
PROJECT: _____
DATED: _____
- THE CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
- THE CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND PARKING AREA.

- SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 35 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - THE TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. HE WILL BE REQUIRED TO PROTECT THE TREES WHICH ARE TO BE SAVED TO BE SURE THAT THE EQUIPMENT IS NOT NECESSARILY OPERATED UNDER NEARBY TREES AND SHALL EXERCISE EXTREME CAUTION IN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, HE SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD THE CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
- RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREED AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.
- THE CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADJACENT TREES AS DIRECTED BY THE OWNER.
- ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.
- ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETE BEFORE ANY WORK COMMENCES ON-SITE.
- BEFORE COMMENCING WITH ANY EXCAVATION THE CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER.
- PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE:
- TREE REMOVAL: THE CONTRACTOR SHALL FELL THE TREES. AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT

- SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PROPER REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
- ROOT PRUNING: BEFORE ANY STUMPS ARE TO BE REMOVED, ALL ROOTS SHALL BE SEVERED FROM ROOTS IN THE RESTRICTED AREAS BY SAW CUTTING WITH A VERMIER DESIGNED FOR ROOT PRUNING, BY HAND, OR WITH A CHAINSAW. THESE ROOTS PROJECTING INTO THE CONSTRUCTION ZONE SHALL BE EXPOSED PRIOR TO ROOT PRUNING WITH SMALL MACHINERY, E.G., BOSCOT.
 - STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED, WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE.
 - AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
 - MULCH RATHER THAN SEED OR SOO WILL BE USED AT THE BASE OF QUALITY TREES TO A PERIMETER DETERMINED BY THE OWNER'S REPRESENTATIVE. AREAS TO BE SEED FOR EROSION CONTROL, PURPOSES WITHIN THE CONSTRUCTION ZONE ARE TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. NATURAL GROUND COVER WILL BE MAINTAINED WHEREVER POSSIBLE.
 - THE USE OF RETAINING WALLS NEAR TREES, IN ADDITION TO THOSE REQUIRED ON THE PLANS SHALL BE DETERMINED IN THE FIELD, BASED ON TREE LOCATIONS AND TOPOGRAPHY.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESEEDING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PAD, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 4 INCHES. RESEED TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 4 INCHES.
 - FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS ON SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME BUTTED BY TRAFFIC OR SHROOD BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DETURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- TOLERANCES
- THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.

- AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL, "SITE MAP". THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. THE CONTRACTOR SHALL POST WHATEVER SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
- FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/PHIA PROCEDURES AND DATA SHEET 798.
- IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO ACTIVE DRAIN TILE SHALL BE BACKFILLED WITHOUT REVIEW, DISCUSSION AND APPROVAL FROM THE PROJECT ENGINEER.
- RETAINING WALL(S) SHALL BE CONSTRUCTED OF MODULAR BLOCK MATERIAL. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

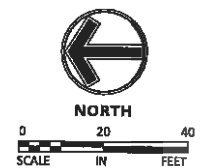




PLANT LEGEND

- OVERSTORY DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUBS/ PERENNIALS
- EXISTING OVERSTORY TREES

SOD



APPLEWOOD POINTE OF LANGTON LAKE SECOND ADDITION

KNOW ALL MEN BY THESE PRESENTS: That United Properties Residential LLC, a Minnesota limited liability company, owner of the following described property situated in the City of Roseville, County of Ramsey, State of Minnesota:

Lot 2, Block 1 and Outlot A, APPLEWOOD POINTE OF LANGTON LAKE, Ramsey County, Minnesota.

AND

The West 250.15 feet of the North 3 acres of the Southwest Quarter of the Northwest Quarter of Section 4, Township 29, Range 23, Ramsey County, Minnesota.

AND

The West 250.15 feet of the South 5 acres of the North 8 acres of the Southwest Quarter of the Northwest Quarter of Section 4, Township 29, Range 23, Ramsey County, Minnesota.

Has caused the same to be surveyed and platted as APPLEWOOD POINTE OF LANGTON LAKE SECOND ADDITION and does hereby dedicate to the public for public use forever the public ways and drainage and utility easements as shown on this plat.

In witness whereof said United Properties Residential LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20 ____.

Signed: United Properties Residential LLC

Brian P. Carey, Chief Manager

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by Brian P. Carey, as Chief Manager of United Properties Residential LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____County, Minnesota

My Commission Expires _____

I, Jason E. Rud, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Jason E. Rud, Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 20____, by Jason E. Rud, a Licensed Land Surveyor.

Notary Public, _____County, Minnesota

My Commission Expires _____

City of Roseville
We do hereby certify that on the _____ day of _____, 20____, the City Council of the City of Roseville, Minnesota, approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

_____, Mayor _____, City Clerk

Department of Property Records and Revenue
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year _____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfers entered this _____ day of _____, 20____.

_____, Director By _____ Deputy
Property Records and Revenue

County Surveyor
I hereby certify that this plat complies with the requirements of Minnesota Statutes, Section 505.021, and is approved pursuant to Minnesota Statutes, Section 383A.42, this _____ day of _____, 20____.

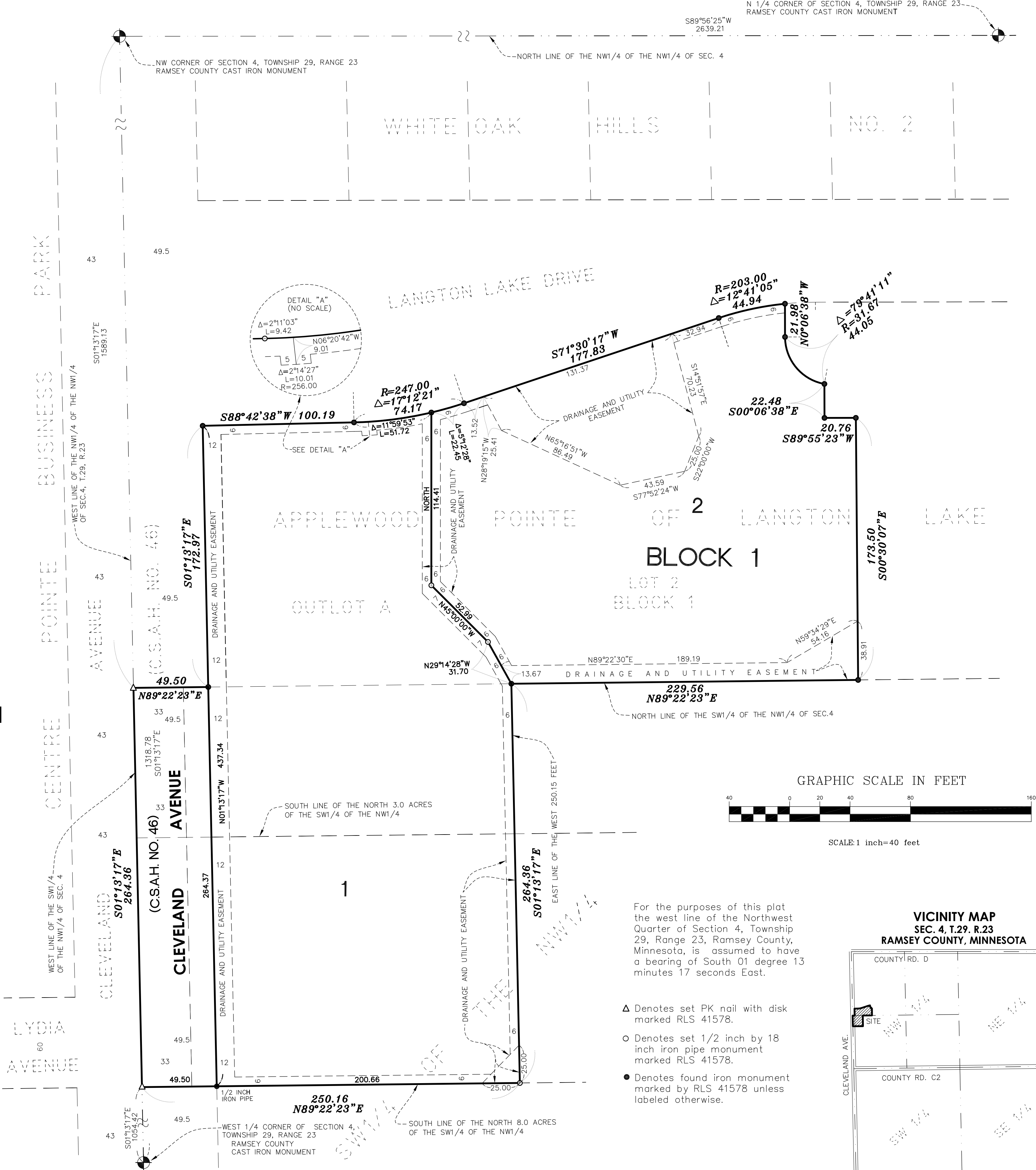
Michael Fiebiger, P.L.S.
Ramsey County Surveyor

County Recorder
County of Ramsey, State of Minnesota
I hereby certify that this plat of APPLEWOOD POINTE OF LANGTON LAKE SECOND ADDITION was filed in the office of the County Recorder for public record on this _____ day of _____, 20____, at ____ o'clock ____M., and was duly filed in Book _____ of Plats, Pages _____ and _____ as Document Number _____.

Deputy County Recorder

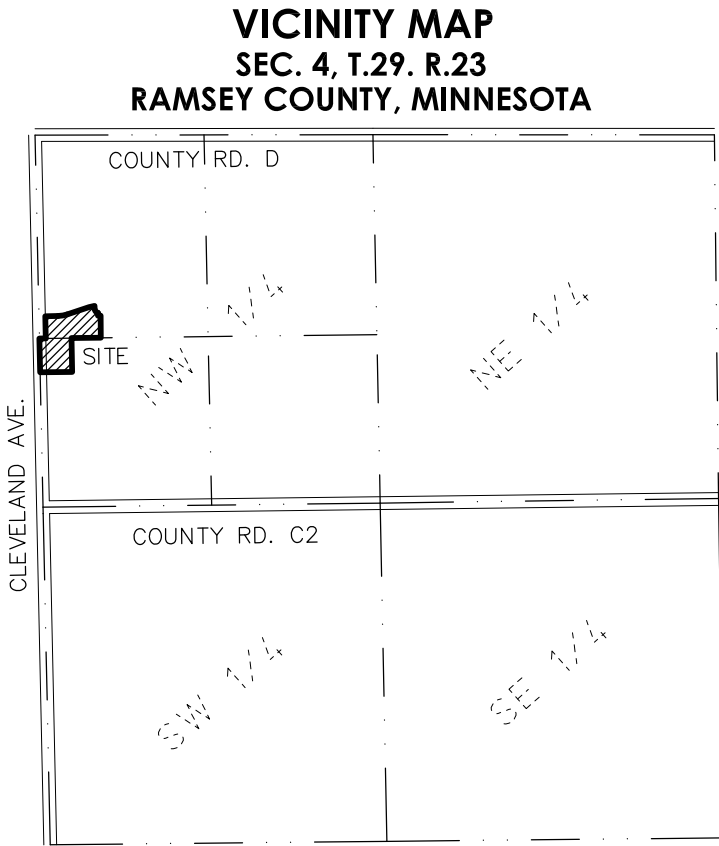


NORTH



For the purposes of this plat the west line of the Northwest Quarter of Section 4, Township 29, Range 23, Ramsey County, Minnesota, is assumed to have a bearing of South 01 degree 13 minutes 17 seconds East.

- Δ Denotes set PK nail with disk marked RLS 41578.
- Denotes set 1/2 inch by 18 inch iron pipe monument marked RLS 41578.
- Denotes found iron monument marked by RLS 41578 unless labeled otherwise.



ORDINANCE NO. ____

AN ORDINANCE AMENDING TITLE 10 OF THE CITY CODE CHANGING THE ZONING MAP DESIGNATION OF CERTAIN REAL PROPERTY AT 2990, 2996 AND OUTLOT A OF APPLEWOOD POINTE OF LANGTON LAKE FROM HIGH DENSITY RESIDENTIAL-1 (HDR-1) TO HIGH DENSITY RESIDENTIAL-2 (HDR-2)

The City Council of the City of Roseville does ordain:

Section 1. Real Property Rezoned. Pursuant to Section 1009.06 (Zoning Changes) of the City Code of the City of Roseville, and after the City Council consideration of Planning File 11-08, the following property, located at 2990, 2996, and Outlot A of Applewood Pointe of Langton Lake and legally described as:

Lot 1, Block 1, Applewood Pointe of Langton Lake Second Addition

is hereby rezoned from High Density Residential-1 (HDR-1) to High Density Residential-2 (HDR-2).

Section 2. Effective Date. This ordinance amendment to the City Code and Zoning Map shall take effect upon:

1. The passage of the final plat of Applewood Pointe of Langton Lake Second Addition
2. The passage and publication of this ordinance.

Passed this 9th day of May, 2011, by Mayor Dan Roe

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota, was held on the 9th day of May 2011 at 6:00 p.m.

The following Members were present:

and Members were absent:

Council Member _____ introduced the following resolution and moved its adoption:

**RESOLUTION NO. _____
A RESOLUTION APPROVING THE FINAL PLAT OF APPLEWOOD POINTE OF
LANGTON LAKE SECOND ADDITION (PF11-08)**

WHEREAS, United Properties has requested approval of a subdivision of 2990, 2996 and Outlot A of Applewood Pointe of Langton Lake; and

WHEREAS, the Roseville Planning Commission held the public hearing regarding the proposed PRELIMINARY PLAT on April 6, 2011, at which meeting no citizens were present to address the Commission; and

WHEREAS the Roseville Planning Commission voted 7-0 to recommend approval of the proposed PRELIMINARY PLAT based on the comments and findings of the staff report prepared for said public hearing; and

WHEREAS, the Roseville City Council, at its regular meeting on May 9, 2011, received the Planning Commission's recommendation pertaining to the PRELIMINARY PLAT and the City staff report regarding the FINAL PLAT; and

NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of Roseville, Minnesota, that the applications to approve a PRELIMINARY AND FINAL PLAT on property located at 2990, 2996 Cleveland Avenue and Outlot A of Applewood Pointe of Langton Lake is hereby approved.

The motion for the adoption of the foregoing resolution was duly seconded by Council Member _____ and upon vote being taken thereon, the following voted in favor: ____ ; and none voted against.

WHEREUPON said resolution was declared duly passed and adopted.

[illegible]

WITNESS MY HAND officially as such Manager this 9th day of May 2011.

(SEAL)

REQUEST FOR CITY COUNCIL ACTION

DATE: 05/09/2011
ITEM NO: 12.e

Department Approval:



Acting City Manager Approval



Item Description: Request by AEON to **Approve** the **PRELIMINARY AND FINAL PLAT OF SIENNA GREEN 2ND ADDITION, (PF07-068).**

1.0 REQUESTED ACTION:

AEON seeks approval of their PRELIMINARY AND FINAL PLAT, related to their acquisition of the triangular piece of property directly north of Sienna Green.

PROJECT REVIEW HISTORY

- Applications Submitted: March 7, 2011
- Determined Complete: March 10, 2011
- 60-Day Review Deadline: May 7, 2011
- 60-Day Review Extension to
- Project Report Recommendation: April 6, 2011
- Planning Commission Action: April 6, 2011
- Anticipated City Council Action: May 9, 2011

2.0 SUMMARY OF RECOMMENDATION:

The Development Review Committee and the Planning Division recommend APPROVAL of the request by AEON.

3.0 SUMMARY OF SUGGESTED ACTION:

ADOPT a RESOLUTION APPROVING the PRELIMINARY and FINAL PLAT of Lot 1, Block 1, Sienna Green Second Addition;

Please see Section 8 for detailed recommendations

4.0 REVIEW OF REQUEST

In 2009, AEON received approval of a Planned Unit Development (PUD) to rehabilitate the Har Mar Apartments, complete site improvements, and construct a new 50-unit rental complex. Since that date, AEON has been working with the Minnesota Department of Transportation and the City of Roseville to acquire a small triangular piece of land directly north of the Sienna Green site. AEON is required to include this land with the existing Lot 2 of the subdivision plat approved with the PUD and also amend the PUD Agreement to incorporate the land into the development and to shift the proposed 50-unit structure. There is also an existing public easement that needs to be vacated and relocated as a component of the project. However, recently the City Attorney has determined that the land, although in fee title, is also an easement, for which the whole triangular piece must be vacated. This action will occur at the May 4 Planning Commission Meeting and then combined with the three items contained in the report and presented to the City Council for action.

5.0 BACKGROUND

As stated previously, AEON received approval of their PUD in June, 2009 for Sienna Green. This PUD and the associated agreement included specific perimeters within which site improvements and development at Sienna Green was to occur. Since the recent acquisition (transference from City to AEON) the small triangular piece of land (directly north and adjacent the frontage road and an item discussed throughout the approval process) and a necessary change in the building footprint design and location, the PUD Agreement requires modification, the existing Lot 2 needs to be replatted, and an existing public easement needs to be vacated. A new utility and drainage easement will replace the vacated easement on the new subdivision plat.

6.0 PRELIMINARY/FINAL PLAT

6.1 The PRELIMINARY PLAT proposed for the Sienna Green development seeks to create Lot 1, Block1, Sienna Green Second Addition by combining the existing Lot 2 with the recently acquired triangle. The size of the new lot will increase from a former 48,351 or 1.1 acres to 54,918 or 1.26 acres after all dedications have been provided.

6.2 With the recently approved Vacation of the Public Highway Easement, the new Lot 1, Block 1, Sienna Green Second Addition provides all necessary and required utility and drainage easements and dedications.

7.0 STAFF COMMENTS, RECOMMENDATION, AND CONDITIONS

7.1 The Development Review Committee reviewed the proposed Preliminary Plat, Easement Vacation, and PUD Agreement Amendment on March 10 and 17, 2011. The Committee did not have any specific concerns with the proposal or the documentation provided in support of the project. The DRC and the Planning Division recommend that all actions sought by AEON be supported.

62 7.2 The Development Review Committee has reviewed the Final Plat and supports the City
63 Council approving the Preliminary and Final Plats.

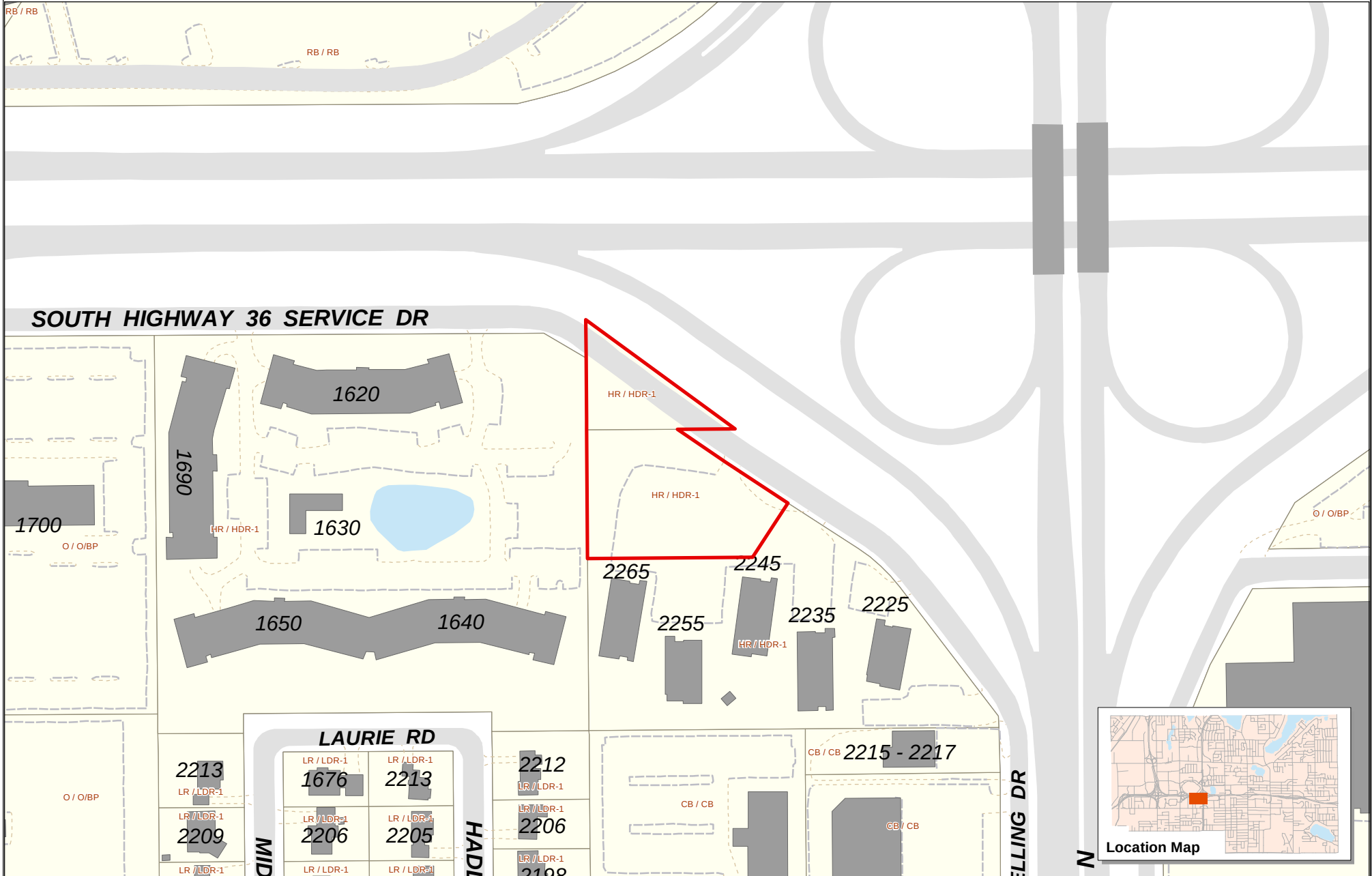
64 **8.0 SUGGESTED PLANNING COMMISSION ACTION**

65 ADOPT A RESOLUTION APPROVING THE PRELIMINARY AND FINAL PLAT OF LOT 1, BLOCK
66 1, SIENNA GREEN SECOND ADDITION;

67 **Prepared by: Thomas Paschke, City Planner (651-792-7074)**

68 Attachments: A: Area map
69 B: Aerial photograph
70 C: Applicant narrative
71 D: Preliminary plat
72 E: Final plat
73 F: Plat resolution
74
75

Attachment A: Location Map for Planning File 07-068



Prepared by:
Community Development Department
Printed: March 29, 2011



Site Location

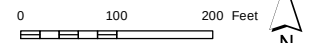
Comp Plan / Zoning
Designations
LR / R1

Data Sources

* Ramsey County GIS Base Map (2/28/2011)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

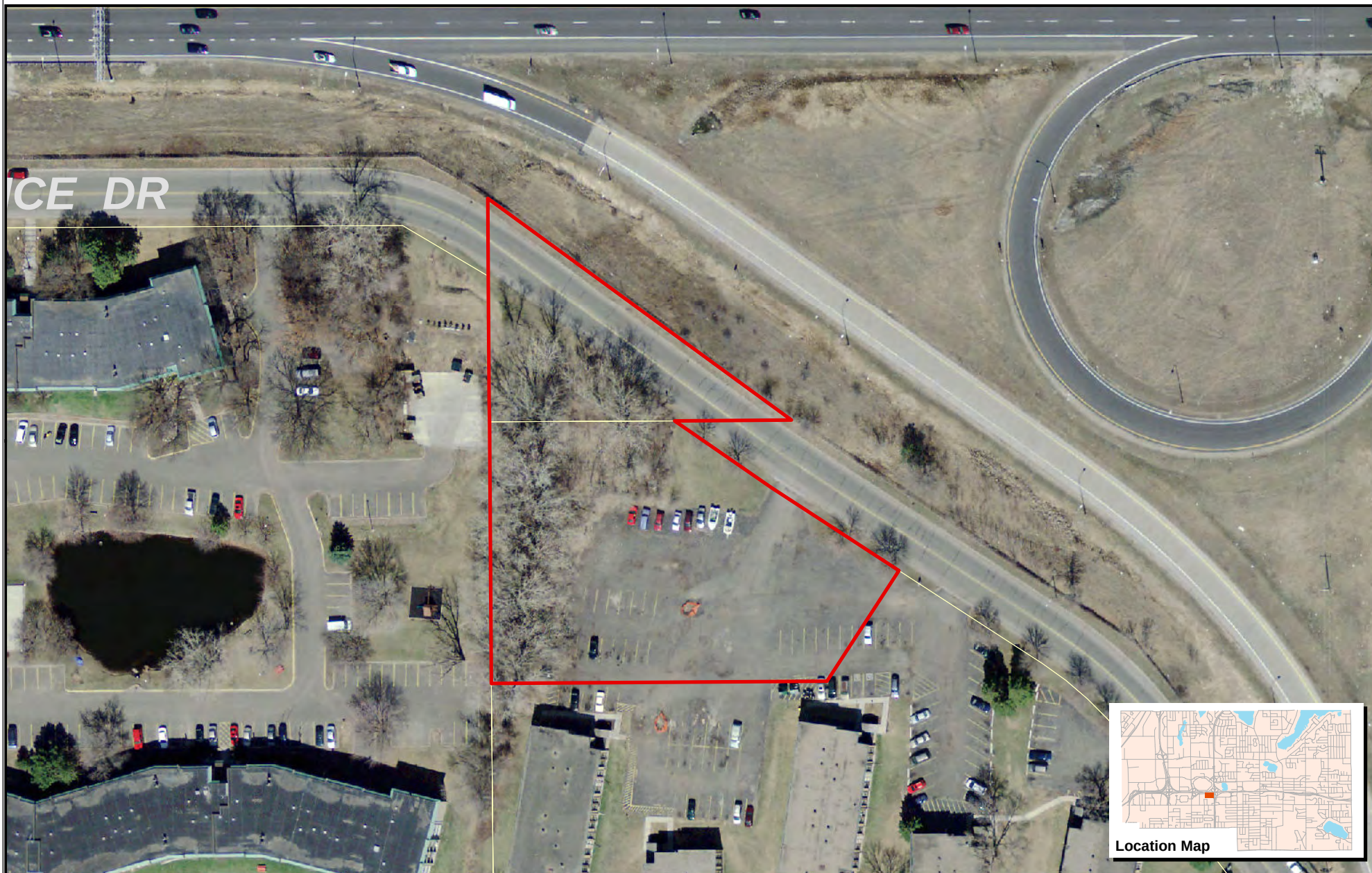
Disclaimer

This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



mapdoc: planning_commission_location.mxd

Attachment B: Aerial Map of Planning File 07-068



Prepared by:
Community Development Department
Printed: March 29, 2011



Site Location

Data Sources

* Ramsey County GIS Base Map (2/28/2011)

* Aerial Data: Kucera (4/2009)

For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

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0 50 100 Feet





March 9, 2011

**Sienna Green II
PUD Amendment Narrative**

PUD Amendment Request Summary

Sienna Green is a two phase apartment home project originally approved by the City of Roseville in June 2009. The first phase was a significant rehabilitation of five buildings that include a total of 120 one bedroom units formerly known as Har Mar Apartments. The rehabilitation was completed in November 2010.

Phase two involves constructing a new 50 unit building with primarily two and three bedroom units for low-to moderate-income families. This PUD amendment request relates to the layout of Phase two and includes two components:

- Incorporate the small property known as the "triangle" into Sienna Green Phase 2; and,
- Reduce the building setback from 40 feet to 15 feet from the western property line.

The remainder of this narrative provides information about Aeon, the status of the Sienna Green project, and additional background regarding the two requested amendments.

About Aeon

Aeon is a nonprofit developer, owner, and manager of high-quality affordable apartment homes in the Minneapolis/St. Paul area. We are an award-winning nonprofit that has built or renovated nearly 1,800 apartments and townhomes that provide home to more than 3,000 people each year – including individuals and families with low to moderate incomes and formerly homeless individuals. Since 1986, Aeon has built quality affordable homes, connected residents to stabilizing resources, and managed its properties as long-term assets.

Aeon's developments are multi-million dollar investments in our community that transform vacant, blighted areas into vibrant places to live. We connect residents to each other, to the community, and to stabilizing resources such as job training and after-school programs. Our inspiration to create long-term community assets is illustrated in our name “Aeon,” which means “forever.” We build and manage homes for generations to come. Our vision is that every person has a home and is interconnected within community. Additional information about Aeon is available on the web at www.aeonmn.org.



Sienna Green Project Review

Har Mar Apartments, now known as Sienna Green, were constructed in 1965. The property includes five buildings with a total of 120 one bedroom units. Before Aeon acquired the property, it had the most police calls of any property in the City of Roseville and was almost half vacant due to numerous deferred maintenance issues. Many units were in poor condition or simply un-rentable. The over-sized asphalt parking lot was crumbling, the site suffered from poor drainage, and much of the landscaping was unkempt. However, the building structures were sound and now demonstrate that with careful planning, it can be more cost-effective to renovate than demolish and construct new buildings.

In cooperation with the City of Roseville, a PUD was approved in June 2009 to significantly rehabilitate the five buildings and address drainage, parking, and landscaping. The PUD also included a second phase for the new 50 unit building. The Phase I rehabilitation project was completed in November 2010 and included the following (see pictures in Attachment A):

- The interiors of all 120 units were rehabbed, environmental issues remediated (lead and asbestos), and new kitchens and bathrooms installed;
- New landscaping was planted throughout the property, including 120 additional new trees;
- Parking was divided into smaller areas to incorporate landscaped islands and eliminate the one monolithic asphalt lot;
- Drainage was significantly enhanced with new rain gardens and drainage basins; and,
- A new sidewalk was constructed along the frontage road, which will continue along Phase 2. Later this summer, a new sidewalk will be constructed from Sienna Green to County Road B2 to provide safe pedestrian access to the intersection.

Phase II provides 50 new units comprised of four one bedroom, 30 two bedroom, and 16 three bedroom units. The two and three bedroom apartments provide additional affordable options for families with children. The building will have underground parking, a community space for residents, tot lot playground, and a leasing office. Aeon anticipates breaking ground on this project later this summer.

The Sienna Green project was made possible by creating an effective partnership between Aeon, the City of Roseville, Ramsey County, and state and regional agencies. This project will enhance the long-term desirability of the neighborhood. Sienna Green has become a sustainable model for revitalizing aged housing stock while providing a mix of affordable and market rate units to increase the quality housing options available to people of varying incomes, family types, ages, and abilities.

This development is consistent with Imagine Roseville's 2025 Plan to ensure the City has a diverse mix of housing that meets community needs. It also satisfies many other goals within the Plan such as encouraging sustainable building practices, improving landscaping, and making Roseville a livable community for all.



Proposed Amendments

This PUD amendment request includes two components that are necessary to complete the design and construction of Sienna Green Phase II:

- Incorporate the small property known as the "triangle" into Sienna Green Phase 2; and,
- Reduce the building setback from 40 feet to 15 feet from the western property line.

With these two amendments, Aeon will be able to complete the Sienna Green Phase II design process. The project will conform to all other requirements of the PUD agreement as well as the newly adopted building design standards in the Roseville Zoning Code that were not in place when the PUD was first approved.

The Triangle Property

When the Sienna Green project was approved by the City in June 2009, the plans for Phase II did not yet include the “triangle” parcel immediately north of Lot 2 because the ownership history had not been fully resolved (Attachment B). The parcel is now owned by Aeon. This PUD amendment request is accompanied by a plat application to combine Lot 2 of the Sienna Green Addition and the adjacent triangle parcel into one parcel for the Phase II project. The proposed amendment will update the legal description in the PUD agreement to include the legal description of the newly combined lot.

Building Setback Adjustment

The site layout for Phase II in the original PUD approval was largely conceptual since final design was not scheduled to occur until funding was secured and ownership of the triangle was clarified since both items would impact final design. With funding secured and the triangle ownership question resolved, the design process was initiated.

Upon reviewing the site layout, a rectangular building instead of a “dog leg” style building shown in the original PUD provides for more efficient and cost-effective construction as well as better long-term use of the site itself. With the addition of the triangle parcel, the combined property can now support the rectangular building. As we entered the design phase, it was also determined that the building needed to be lengthened to accommodate the underground parking and the minimum apartment sizes needed to meet design standards set by the Minnesota Housing Finance Agency.

While the proposed setback adjustment reduces the building setback from 40 feet to 15 feet from the western property line, only a corner of the building actually extends to the 15 foot mark. Almost all of the building actually remains behind the 40 foot setback line (Attachment C), and it is still more than 200 feet from the closest building on the adjacent property (Attachment D). Please note that the new underlying HDR-1 zoning district permits a 10 foot setback from the western property line.

In terms of layout, the rectangular design offers a number of benefits:

- The additional space on the south side of the building allows us to include a patio and tot lot playground that is buffered by the building from the street and Highway 36, which will create a more attractive and usable space within the new landscaping.
- The additional space also provides more opportunity to plant trees and shrubs, which will further enhance the landscaping along the property line and adjacent to the building. The original PUD proposed 28 additional trees for Phase 2 while the revised site plan includes 30 trees that will provide more trees on the south side of the building and along the property line (these trees are in addition to what was already planted with Phase I). Although not yet shown on the landscaping plan, additional flowers and shrubs will be planted adjacent to the building.
- The rectangular building creates less of a building “wall” facing the adjacent property as compared to the “dog leg” design. By tapering back from a point, the building should have a reduced visual impact along the western property line.
- The rectangular building allows for a shorter driveway and less driving surface.
- The rectangular building is more cost efficient in terms of construction, which is a better use of scarce funds for these types of projects.

As the project moves forward, Aeon will work closely with City staff on the final details for the grading, utility, and building plans as required by the approved PUD and City Code.

Neighborhood Discussions

One of Aeon’s core values is collaborating with the community to create vibrant, healthy neighborhoods. Prior to the City review, we met with Rosewood Village, the condominium association immediately adjacent to Sienna Green and showed them this modified plan to discuss design and ways to mutually enhance our properties. During those meetings much of the discussion focused on landscaping ideas and our mutual desire for a strong neighborhood. While final conclusions were not determined prior to submitting this narrative, ideas included planting trees on the north side of the service road, exploring shared stormwater management ideas, and planting additional trees along both sides of our shared property line. We remain committed to working with Rosewood Village and all of our neighbors to make this part of Roseville a strong, cohesive, and valuable neighborhood.

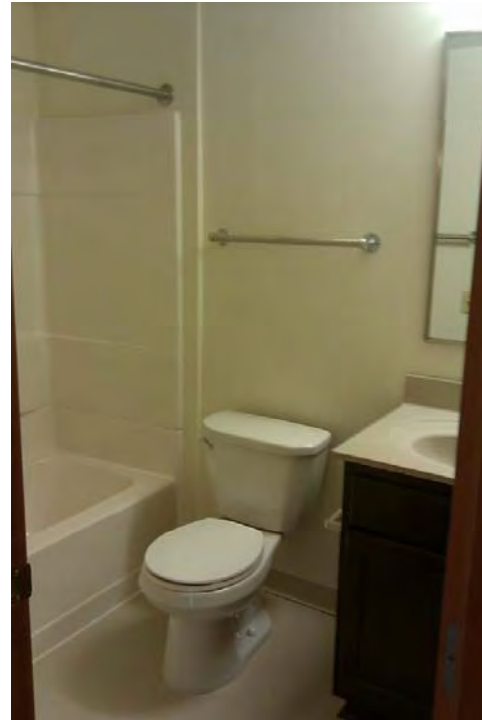
Attachment A
Sienna Green Phase I: Before and After Pictures



Sienna Green Phase I: Before and After Pictures



Sienna Green Phase I: Before and After Pictures



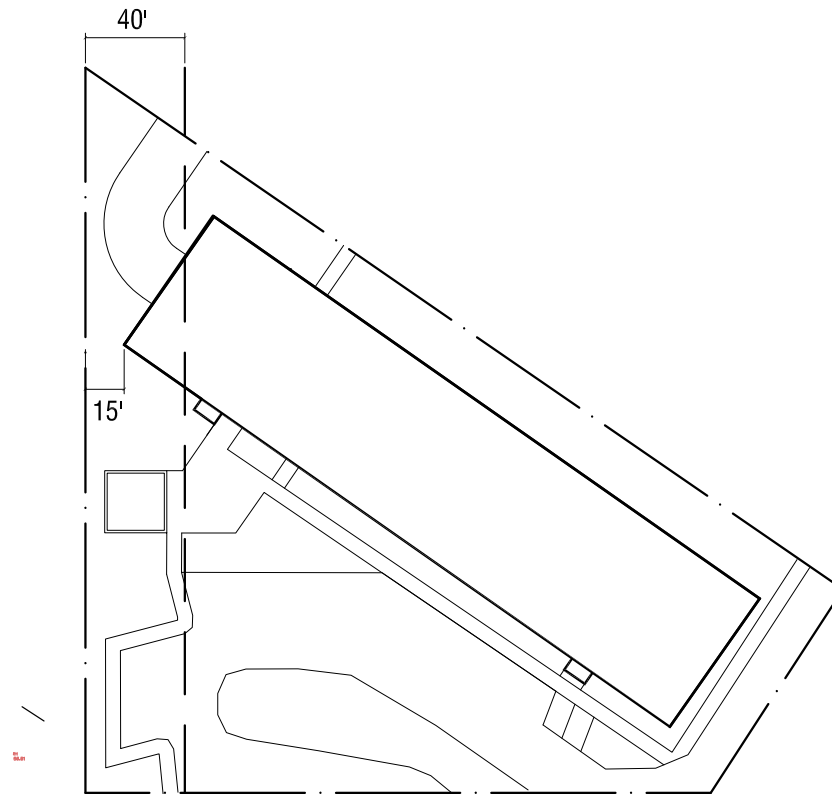
Attachment B: Triangle Parcel Diagram



DISCLAIMER: This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only.

SOURCES: Ramsey County (August 30, 2010), The Lawrence Group; August 30, 2010 for County parcel and property records data; August 2010 for commercial and residential data; April 2009 for color aerial imagery; All

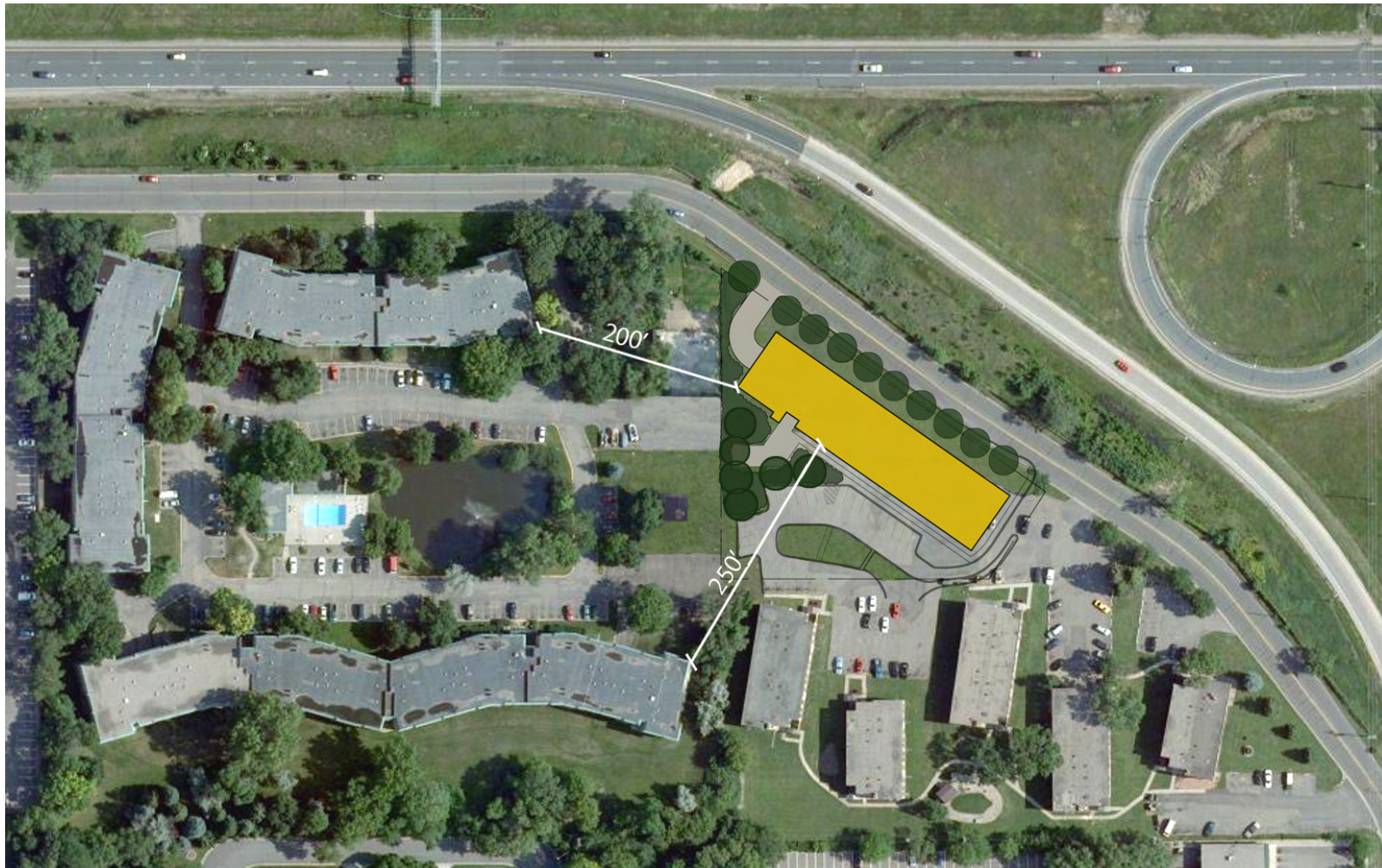
Attachment C: Building Setback Diagram



SIENNA GREEN II
ROSEVILLE, MN
03.09.2011 SCALE = 1:50 (11X17)

CERMAK RHOADES ARCHITECTS

Attachment D: Site Layout Diagram



OPTION 1



SIENNA GREEN II

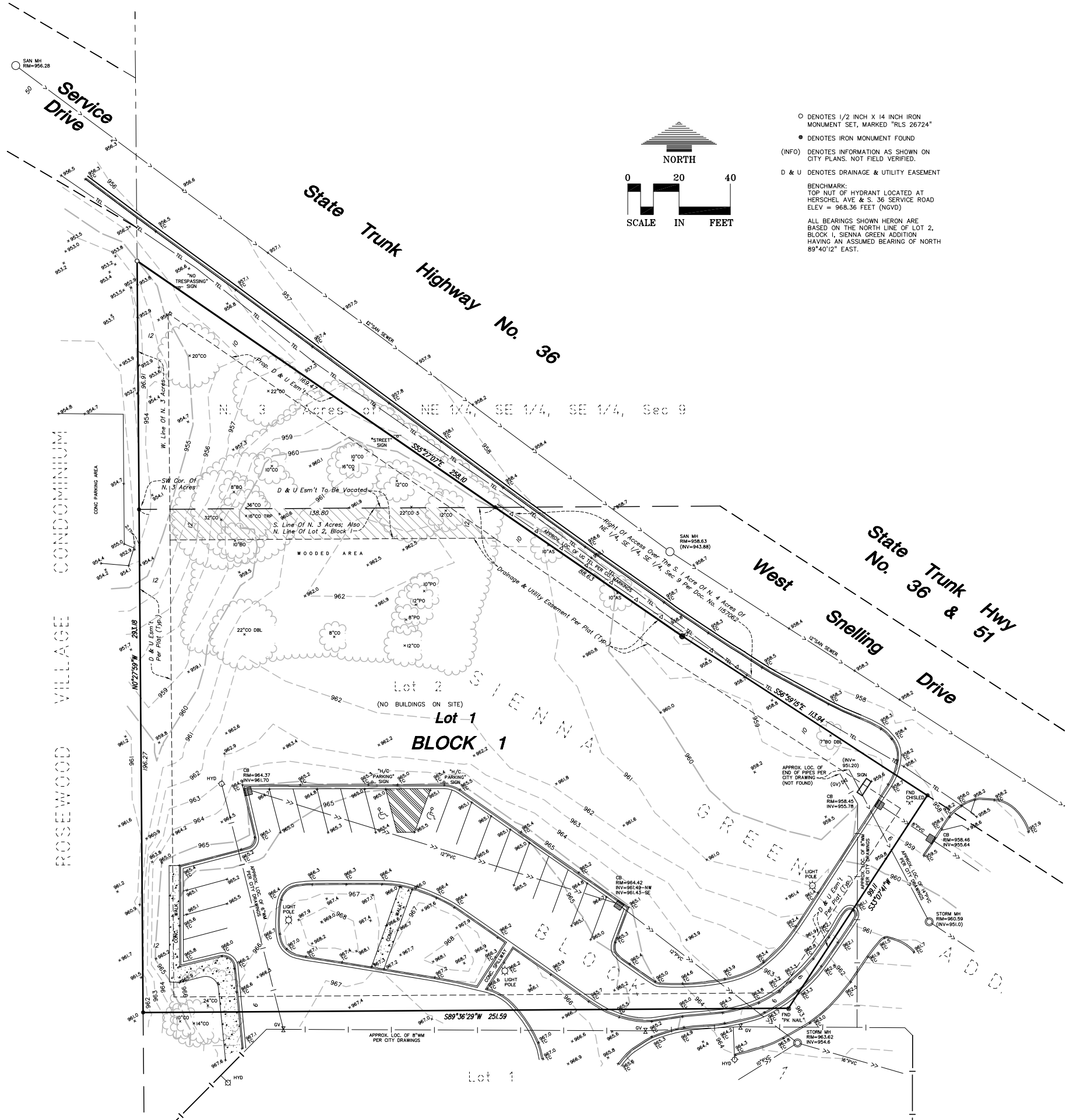
Aeon

02.07.2011

CERMAK RHOADES ARCHITECTS

Preliminary Plat Of: SIENNA GREEN 2ND ADDITION

Attachment D



○ DENOTES 1/2 INCH X 1/4 INCH IRON MONUMENT SET, MARKED "RLS 26724"
● DENOTES IRON MONUMENT FOUND
(INFO) DENOTES INFORMATION AS SHOWN ON CITY PLANS, NOT FIELD VERIFIED.
D & U DENOTES DRAINAGE & UTILITY EASEMENT
BENCHMARK:
TOP NUT OF HYDRANT LOCATED AT
HERSCHEL AVE & S. 36 SERVICE ROAD
ELEV = 968.36 FEET (NGVD)
ALL BEARINGS SHOWN HEREON ARE
BASED ON THE NORTH LINE OF LOT 2,
BLOCK 1, SIENNA GREEN ADDITION
HAVING AN ASSUMED BEARING OF NORTH
89°40'12" EAST.

PRELIMINARY PLAT GENERAL NOTES

SURVEYOR:
Loucks Associates, Inc.
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55330
763-424-5505

OWNER/DEVELOPER:
Aeon
822 South 3rd Street, Suite 300
Minneapolis, MN 55414
612-341-3148

LEGAL DESCRIPTION:
Parcel 1:
Lot 2, Block 1, Sienna Green Addition, Ramsey County, Minnesota

Together with reciprocal, perpetual and nonexclusive easements for vehicular and pedestrian ingress and egress contained in Declaration of Reciprocal Easements (Access and Parking) dated January 22, 2010, filed of record February 19, 2010, as Document No. 4208881.

Parcel 2:
That part of the North 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota which lies southwesterly of the following described line:

Beginning at a point on the south line of said North 3 acres, said line also being the North line of Lot 2, Block 1, Sienna Green Addition, Ramsey County, Minnesota, distant 138.80 feet east from the Southwest corner of said North 3 acres; thence North 55 degrees 27 minutes 07 seconds West, to its intersection with the West line of said 3 acres of the Northeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota, and there terminating.

Abstract Property

DATE OF PREPARATION:
February 4, 2011

EXISTING ZONING:
Zone (HDR-1)

AREA:
54,918 +/- SF or 1.26 +/- Acres

FLOOD ZONE DESIGNATION:
This property is contained in Zone X (areas determined to be outside the annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27123C0020G, effective date of June 4, 2010.

SURVEY LEGEND

- CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE
- LIGHT POLE
- SIGN
- SPOT ELEVATION
- ASH
- BOXELDER
- COTTONWOOD
- POPLAR
- TOP OF CURB
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- SANITARY SEWER SERVICE
- WATER SERVICE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- CONCRETE CURB
- CONCRETE
- CONTOUR
- DECIDUOUS TREE

Project Name:

Sienna Green
2nd Addition

Roseville, Minnesota

Owner/Developer:

AEON
822 South 3rd Street
Suite 300
Minneapolis, MN 55414

Professional Services:

LOUCKS ASSOCIATES
Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental
7200 Hemlock Lane - Suite 300
Maple Grove, MN 55330
Telephone: (763) 424-5505
www.LoucksAssociates.com
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CADD Qualification:

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to create copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.
S11012-MASTER.DWG/Pre-Plat

Revisions:

Professional Signature:

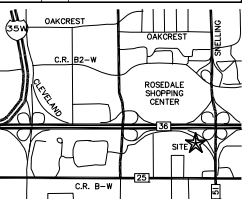
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Richard L. Licht - RLS
26724
License No.
2/3/11
Date

Quality Control:

N/A
Project Lead:
RLL
Checked By:
Drawn By:
SFM
Review Date:

Vicinity Map:



Sheet Title:

Preliminary
Plat

Project No.:

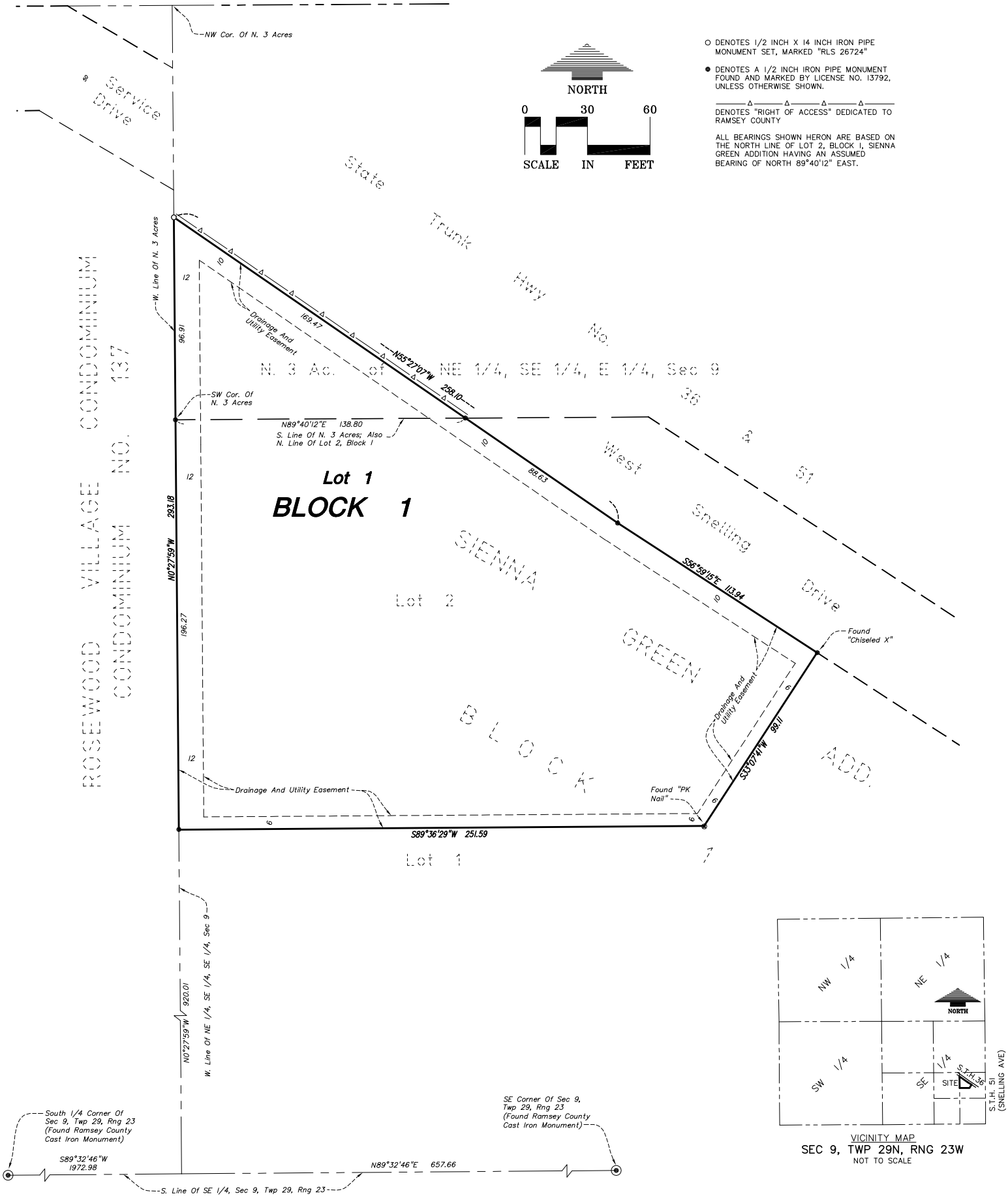
11-012

Sheet No.:

Sheet 1 of 1

SIENNA GREEN 2ND ADDITION

Attachment E



KNOW ALL PERSONS BY THESE PRESENTS: That Snelling Avenue, LLC, a Colorado limited liability company, fee owner, and Bankname, a State/fedbank, mortgagee of the following described property situated in the City of Roseville, County of Ramsey, State of Minnesota, to wit:

Lot 2, Block 1, SIENNA GREEN ADDITION,

Together with

That part of the North 3 acres of the Northeast Quarter of the Southeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota, which lies southwesterly of the following described line:

Beginning at a point on the south line of said North 3 acres, said line also being the North line of Lot 2, Block 1, Sienna Green Addition, Ramsey County, Minnesota, distant 138.80 feet east from the Southwest corner of said North 3 acres; thence North 55 degrees 27 minutes 07 seconds West, to Its Intersection with the West line of said 3 acres of the Northeast Quarter of the Southeast Quarter of Section 9, Township 29 North, Range 23 West, Ramsey County, Minnesota, and there terminating.

The north line of Lot 2, Block 1, SIENNA GREEN ADDITION is assumed to have a bearing of North 89 degrees 40 minutes 12 seconds East.

Have caused the same to be surveyed and platted as SIENNA GREEN 2ND ADDITION and do hereby dedicate or donate to the public for public use forever the drainage and utility easements as shown.

In witness whereof said Snelling Avenue, LLC, a Colorado limited liability company, has caused these presents to be signed by Alan Arthur, its Chief Manager this ____ day of ____, 201__.

SNELLING AVNUUE, LLC

Alan Arthur, Chief Manager

State of _____
County of _____

The foregoing instrument was acknowledged before me this ____ day of ____, 201__ by Alan Arthur, Chief Manager of Snelling Avenue, LLC, a Colorado limited liability company, on behalf of the company.

(Signed)

(Printed)
Notary Public _____ County, _____
My Commission Expires _____

In witness whereof said Bankname, a State/fedbank, has caused these presents to be signed by Officename, Title this ____ day of ____, 201__.

BANKNAME

Officename, Title

State of _____
County of _____

The foregoing instrument was acknowledged before me this ____ day of ____, 201__ by Officename, its Title of Bankname, a State/fedbank, on behalf of the Co/assoc.

Notary Public _____ County, _____
My Commission Expires _____

SURVEYORS CERTIFICATION

I, Richard L. Licht, Professional Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of ____, 201__.

Richard L. Licht, Professional Land Surveyor
Minnesota License No. 26724

State of Minnesota
County of Hennepin

The foregoing Surveyor's Certificate was acknowledged before me this ____ day of ____, 201__ by Richard L. Licht, a Professional Land Surveyor.

(Signed)

(Printed)
Notary Public Hennepin County, Minnesota
My Commission Expires January 31, 2015

CITY OF ROSEVILLE, MNNESOTA

We do hereby certify that on the ____ day of ____, 201__, the City Council of the City of Roseville, Minnesota, approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

By _____, Mayor

By _____, City Manager

DEPARTMENT OF PROPERTY RECORDS AND REVENUE

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year ____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of ____, 201__.

By _____, Director

By _____, Deputy

COUNTY SURVEYOR

I hereby certify that this plat complies with the requirements of Minnesota Statutes, Section 505.021, and is approved pursuant to Minnesota Statutes, Section 383A.42, this ____ day of ____, 201__.

Michael Fiebiger, P.L.S.
Ramsey County Surveyor

COUNTY RECORDER, County of Ramsey, State of Minnesota

I hereby certify that this plat of SIENNA GREEN 2ND ADDITION was filed in the office of the County Recorder for public record on this ____ day of ____, 201__, at ____ o'clock __M. and was duly filed in Book _____ of Plats, Page _____, as Document No. _____.

Deputy County Recorder

**EXTRACT OF MINUTES OF MEETING OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota, was held on the 9th day of May 2011 at 6:00 p.m.

The following Members were present:

and Members were absent:

Council Member _____ introduced the following resolution and moved its adoption:

**RESOLUTION NO. _____
A RESOLUTION APPROVING THE FINAL PLAT OF SIENNA GREEN SECOND
ADDITION (PF07-068)**

WHEREAS, AEON has requested approval of the replatting of Lot 2, Block 1, Sienna Green Addition; and

WHEREAS, the Roseville Planning Commission held the public hearing regarding the proposed PRELIMINARY PLAT on April 6, 2011, at which meeting no citizens were present to address the Commission; and

WHEREAS the Roseville Planning Commission voted 7-0 to recommend approval of the proposed PRELIMINARY PLAT based on the comments and findings of the staff report prepared for said public hearing; and

WHEREAS, the Roseville City Council, at its regular meeting on May 9, 2011, received the Planning Commission's recommendation pertaining to the PRELIMINARY PLAT and the City staff report regarding the FINAL PLAT; and

NOW, THEREFORE, BE IT FURTHER RESOLVED by the City Council of the City of Roseville, Minnesota, that the applications to approve a PRELIMINARY AND FINAL PLAT, the replatting of Lot 2, Block 1, Sienna Green Addition and a small triangle directly north (former public highway easement), is hereby approved.

The motion for the adoption of the foregoing resolution was duly seconded by Council Member _____ and upon vote being taken thereon, the following voted in favor: ____ ; and none voted against.

WHEREUPON said resolution was declared duly passed and adopted.

Resolution – Final Plat Meritex Enterprises, 2280 Walnut Street (PF11-010)

STATE OF MINNESOTA)
) ss
COUNTY OF RAMSEY)

I, the undersigned, being the duly qualified City Manager of the City of Roseville, County of Ramsey, State of Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a regular meeting of said City Council held on the 9th day of May 2011 with the original thereof on file in my office.

WITNESS MY HAND officially as such Manager this 9th day of May 2011.

William J. Malinen, City Manager

(SEAL)



REQUEST FOR COUNCIL ACTION

Date: 05/9/11

Item No.: 12 . f

Department Approval

Acting City Manager Approval

Item Description: Approve Joint Powers Agreement for Sharing of Engineering Staff with Maplewood

BACKGROUND

Infrastructure replacement has been increasing annually per the city's capital improvement plan.

This combined with additional projects required for private development and the additional workload due to regulatory mandates has spread our engineering staff very thin. Our backlog of project development, policy development, and day to day response to engineering requests is increasing. The Department requested funding for an additional engineer position in the 2011 budget funded by the utility enterprise funds as much of the increasing demand is due to this infrastructure. The funding is currently in place for this position. Due to economic uncertainties and funding stability for capital replacements at this time we researched alternatives for meeting the current workload. Two options considered were using consultants for the backlog of work or partnering with a community that may have the capacity to assist at this time. The consultant option is feasible but at a higher cost than the partnering option.

The City of Maplewood currently has excess staff capacity in their engineering area that may be able to assist with some Roseville projects. We are proposing to utilize some of their staff and special expertise to meet our needs. We have met several times with the City of Maplewood and have developed a Joint Powers Agreement to allow for engineering staff from either city to assist the other as needs and workloads fluctuate in the future. We have attached a draft Joint Powers Agreement that has been reviewed by both cities and their attorney's. We have attached the latest draft acceptable to our Attorney and is under final review by Maplewood.

Some of the areas we would be receiving assistance with are as follows:

- ☐ Project development including research, feasibility report writing, and plan development.
- ☐ Administrative engineering report writing and analysis.
- ☐ Analysis and modeling of utility systems.
- ☐ Assist with neighborhood traffic management policy development.
- ☐ Application for permits and permit reporting.
- ☐ Field coordination and inspection of public works projects

- 30 ❑ Other engineering related tasks as assigned

31 These tasks would be related to the update of the City's Comprehensive Surface Water
32 Management Plan, Wetland Inventory, storm water modeling, and Traffic Management Policy
33 development. It is necessary to begin work in these areas this year. Maplewood also has storm
34 water modeling software and capabilities that we currently do not have.

35 **POLICY OBJECTIVE**

36 The City employs an Engineering Division to carry out the engineering function for city needs.
37 It is our goal to provide this function in the most efficient and cost effective manner.

38 **FINANCIAL IMPACTS**

39 Under this joint powers agreement the providing city will bill monthly for services provided on
40 an hourly basis using a 1.75 multiplier times the base hourly rate of the staff member providing
41 the service. We would expect to use up to 1000 hours of Maplewood staff time in 2011 to assist
42 with current workload at an approximate cost of \$65,000.

43
44 **STAFF RECOMMENDATION**

45 Staff recommends approval of a Joint Powers Agreement for the sharing of engineering staff
46 between the City of Roseville and the City of Maplewood.

47
48 **REQUESTED COUNCIL ACTION**

49 Approval of a Joint Powers Agreement for the sharing of engineering staff between the City of
50 Roseville and the City of Maplewood.
51
52

Prepared by: Duane Schwartz, Public Works Director
Attachments: A: Draft Joint Powers Agreement

1 **JOINT POWERS AGREEMENT**
2 **FOR THE UTILIZATION OF ENGINEERING EMPLOYEES BY THE CITY OF**
3 **ROSEVILLE AND THE CITY OF MAPLEWOOD**

4
5
6 **THIS AGREEMENT**, entered into by and between the **CITY OF**
7 **MAPLEWOOD (“MAPLEWOOD”)**, a Minnesota municipal corporation, and the
8 **CITY OF ROSEVILLE (“ROSEVILLE”)**, a Minnesota municipal corporation, is
9 effective upon the execution of this Agreement by the named officers of both cities.

10 **RECITALS**
11

12 **WHEREAS**, ROSEVILLE and MAPLEWOOD provide engineering and
13 technical support services for their communities; and

14 **WHEREAS**, MAPLEWOOD and ROSEVILLE have full service Engineering
15 Divisions and other technical employees that are able to provide the services required by
16 both communities; and

17 **WHEREAS**, MAPLEWOOD and ROSEVILLE have a need for additional
18 engineering services from time to time due to fluctuating workloads; and

19 **WHEREAS**, Minnesota Statute 471.59 authorizes political subdivisions of the
20 State to enter into Joint Powers Agreements for the joint exercise of powers common to
21 each, and also authorizes one of the parties to an agreement to exercise powers on behalf
22 of another party.

23 **NOW, THEREFORE**, it is mutually stipulated and agreed to as follows:
24

25 **1. SERVICES.**

26 A. MAPLEWOOD and ROSEVILLE shall provide to one another civil
27 engineering and related technical services at such times as are agreed to pursuant to
28 Provision 1D below. These services include but shall not be limited to the following:

- 29 ❑ Project development including research, feasibility report writing, and plan
30 development.
- 31 ❑ Administrative engineering report writing and analysis.
- 32 ❑ Analysis and modeling of utility systems.
- 33 ❑ Assist with engineering policy development.
- 34 ❑ Application for permits and permit reporting.
- 35 ❑ Field coordination and inspection of public works projects
- 36 ❑ Other engineering related tasks as assigned

37 B. This contract is intended to be a service contract between the two Cities. It
38 is expressly understood that the City providing services will be acting as an independent
39 contractor of the City receiving services. The parties agree that an employee of the City
40 involved in providing services under this contract to the other City (“Assigned Worker”)
41 shall remain an employee of the City providing such services and shall not be an
42 employee of the City for whom the services are provided.

43 C. The Employing City shall be solely responsible for compensating the
44 Assigned Worker(s) engaged in providing engineering and technical services under this
45 Agreement, including any overtime wages incurred, as well as any insurance or employee
46 benefits provided under the policies or agreements of the Employing City. In addition,
47 the Employing City shall be solely responsible for training, workers’ compensation,

reemployment insurance benefits, and other employee related laws, including OSHA, ERISA, RLISA, and FMLA. The Employing City shall retain the sole authority to control the Assigned Worker(s), including the hiring, discipline, and termination of said Assigned Worker(s).

D. ROSEVILLE and MAPLEWOOD shall coordinate the scheduling of services to be performed under this Agreement through their respective City Managers, or the City Manager's designee. No service shall be provided unless and until the City Managers (or their designee) of both Cities approve the performance of such service.

E. Each Assigned Worker will be under the direct supervision of the Employing City's City Engineer for the purpose of performance review and any discipline related issues. It is understood that while the Assigned Worker is providing services for ROSEVILLE, the Assigned Worker will be under the work direction of the ROSEVILLE Public Works Director or his or her Designee. It is understood that while the Assigned Worker is providing services for MAPLEWOOD, the Assigned Worker will be under the work direction of the MAPLEWOOD Public Works Director or his or her Designee. Each City shall notify the other of any and all complaints about the services rendered by an Assigned Worker and cooperate in the documentation, investigation, and resolution of the same in any manner.

F. All costs related to training, licensing, equipment, and other matters concerning the professional development of the Assigned Worker(s) necessary to provide services contemplated by this Agreement shall be borne by the Employing City.

69 **2. PAYMENT.** Each City will compensate the other for services rendered in
70 the amount of 1.75 times the hourly base salary of the Assigned Worker(s) times the
71 number of hours worked by such Assigned Worker(s). Each city shall make monthly
72 payments, upon presentation by the other of a monthly billing equal to costs incurred for
73 that month.

74 **3. INDEMNIFICATION.** The Employing City agrees to assume sole
75 liability for any negligent or intentional acts of its Assigned Worker(s) while performing
76 the assigned duties within the jurisdiction of either City. Each City agrees to indemnify,
77 defend, and hold harmless the other from any claims, causes of action, damages, loss,
78 cost or expenses including reasonable attorney's fees resulting from or related to the
79 actions of the indemnifying City, its officers, agents or employees in the execution of the
80 duties outlined in this Agreement. Nothing in this agreement shall constitute a waiver of
81 the statutory limits on liability set forth in Minnesota Statutes Chapter 466 or a waiver of
82 any available immunities or defenses.

83 **4. TERMINATION, SEVERABILITY.**

84 A. This Agreement may be terminated at any time by either City, with or
85 without cause, by giving the other City written notice of such termination at least sixty
86 (60) days prior to the date of such termination. The date of termination shall be stated in
87 the notice.

88 B. Upon termination, any and all records or property of the respective Cities
89 will be returned to the City who is the owner of such records or property within 90 days.

90 C. This Agreement is governed by the laws of the State of Minnesota.

91 D. In the event that any provision of this Agreement is held invalid, the other
92 provisions remain in full force and effect.

93 **5. REVISIONS TO AGREEMENT.** Both parties acknowledge that
94 modifications to this Agreement may be necessary to ensure an effective, on-going
95 working relationship. To that end, ROSEVILLE and MAPLEWOOD shall use their best
96 efforts to ensure the viability of this Agreement into the future. However, any alterations,
97 variations, modification, or waivers of provisions to this Agreement will only be valid
98 when they have been reduced to writing and duly signed by both parties hereto.

99 **6. NOTICES.** Any notice to be given by either party upon the other under
100 this Agreement shall be properly given: a) if delivered personally to the City Manager of
101 the other City, or b) if mailed to the other City by United States registered or certified
102 mail, return receipt requested, postage prepaid, addressed in the manner set forth below.

103	If to Roseville:	City of Roseville
104		Roseville City Hall
105		2660 Civic Center Drive
106		Roseville, MN 55113
107		Attn: City Manager
108		

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If to Maplewood: City of Maplewood
 Maplewood City Hall
 1830 County Road B East
 Maplewood, MN 55109
 Attn: City Manager

Notices shall be deemed effective on the date of receipt if given personally, or on the date of deposit in the U.S. mails if mailed. Any party may change its address for the service of notice by giving written notice of such change to the other party, in any manner above specified, 10 days prior to the effective date of such change.

7. COMMENCEMENT DATE. This Agreement shall commence on the date that the party who signs this Agreement last signs this Agreement.

123 **IN WITNESS WHEREOF**, the Cities of MAPLEWOOD and
124 ROSEVILLE have caused this Agreement to be duly executed on the day and year
125 entered below.

126 Dated: _____

CITY OF MAPLEWOOD

127

128

129

By: _____

130

Will Rossbach

131

Its Mayor

132

133

134

By: _____

135

James W. Antonen

136

Its City Manager

137

138

139 Dated: _____

CITY OF ROSEVILLE

140

141

142

By: _____

143

Daniel J. Roe

144

Its Mayor

145

146

147

By: _____

148

William J. Malinen

149

Its City Manager

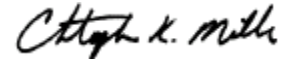
REQUEST FOR COUNCIL ACTION

Date: 05/09/11
Item No.: 12 . g

Department Approval



Acting City Manager Approval



Item Description: Approval of “LivingSmarter” Banner Locations

BACKGROUND

Approximately three years ago in June 2008, the Roseville City Council approved the Roseville Visitors Association request to place “Welcome to Roseville” banners along portions of Larpenteur Avenue and County Road B-2 adjacent to Rosedale. The Visitors Association has elected at this time to not continue the use of the banners. The Roseville Housing and Redevelopment Authority (RHRA) would like to request taking over those preapproved banner locations and in addition add banners to City Hall Campus as part of the “Living Smarter” campaign. The RHRA staff has worked with Public Works staff regarding the identified locations. See attached maps for locations.

Roseville Public Works staff will install the banners as time and work flow permit with the intent to have them installed by the Rose Parade, June 27, 2011. It is anticipated that each installation is valued at \$75-\$100 for staff time but there will be no direct “out of pocket expense for the City”, with that, the Public Works Department will be providing up to \$1,800-\$2,400 in in-kind contribution for the installation. The cost for the banners and banner mounting brackets was budgeted for as part of the “Living Smarter” marketing campaign by the RHRA.

POLICY OBJECTIVE

Public Works Staff has worked with the RHRA and their consultant on sizing the banners appropriate to the pole height and proximity to the street and sidewalks. Along with getting quality banner brackets that can be used for future banners. The banners, if approved, are anticipated to be installed before June 27th this year for the Rose Parade.

FINANCIAL IMPACTS

The only cost to the city is the in-kind contribution for installation of the hardware on the light poles and attaching the banners.

STAFF RECOMMENDATION

Staff recommends approval of locations as shown on the attached map for installation of “Living Smarter” banners provided by the RHRA.

REQUESTED COUNCIL ACTION

Council Approval of “Living Smarter” banner locations on Larpenteur Avenue, County Road B-2 and around City Hall Campus as shown on attached location maps.

Prepared by: **Jeanne Kelsey, Housing Program Manager**

Attachments: A: Banner Examples
 B: Banner Location Maps

Street Banner Displays in Roseville

brief

overview:

The "Living Smarter" campaign has been developed by the Roseville Housing & Redevelopment Authority to provide residents as well as those looking to move into a community with resources that not only will help them protect our environment, but save money in the process as well.

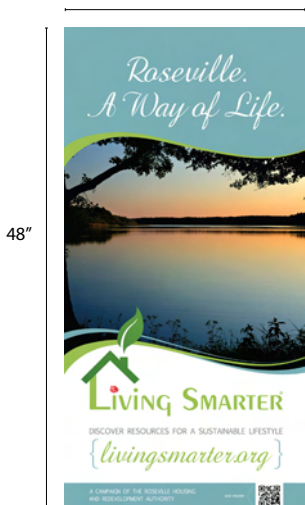
As the campaign continues to strengthen its impact within the Roseville community and across the metro, the Authority is proposing placing street banners to reinforce the campaign's local outreach and induce residents to use the resources available through www.livingsmarter.org.

A range of interchangeable street banners are proposed in the following quantities, sizes and areas.

banner features:

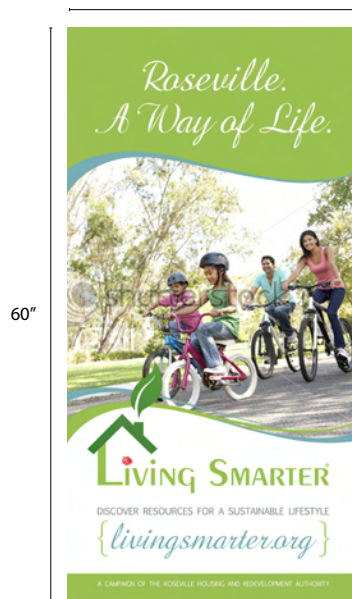
DESIGN A - 24" x 48"

24"



DESIGN B - 30" x 60"

30"



Colors of the header and footer will interchange between banners as shown on the right.

Each banner footer will incorporate QR code for linking to the "Living Smarter" Web site with a mobile

banner concepts:

5 banners - 24" x 48" banners on County Rd B2



banner 1



banner 2



banner 3



banner 1



banner 2

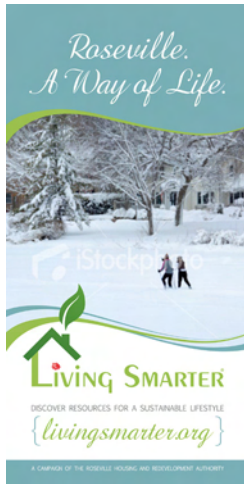
Street Banner Displays in Roseville brief

banner concepts:

8 - 24" x 48" banners on City Hall Campus



banner 1



banner 2



banner 3



banner 4



banner 5



banner 6



banner 7



banner 8

Street Banner Displays in Roseville

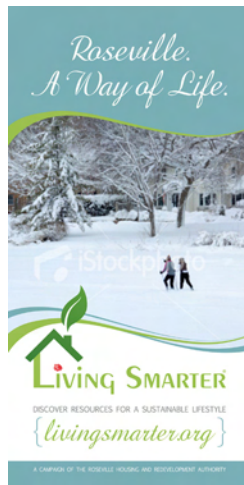
brief

banner concepts:

9 - 30" x 60" banners on Larpenteur



banner 1



banner 2



banner 3



banner 4



banner 5



banner 6



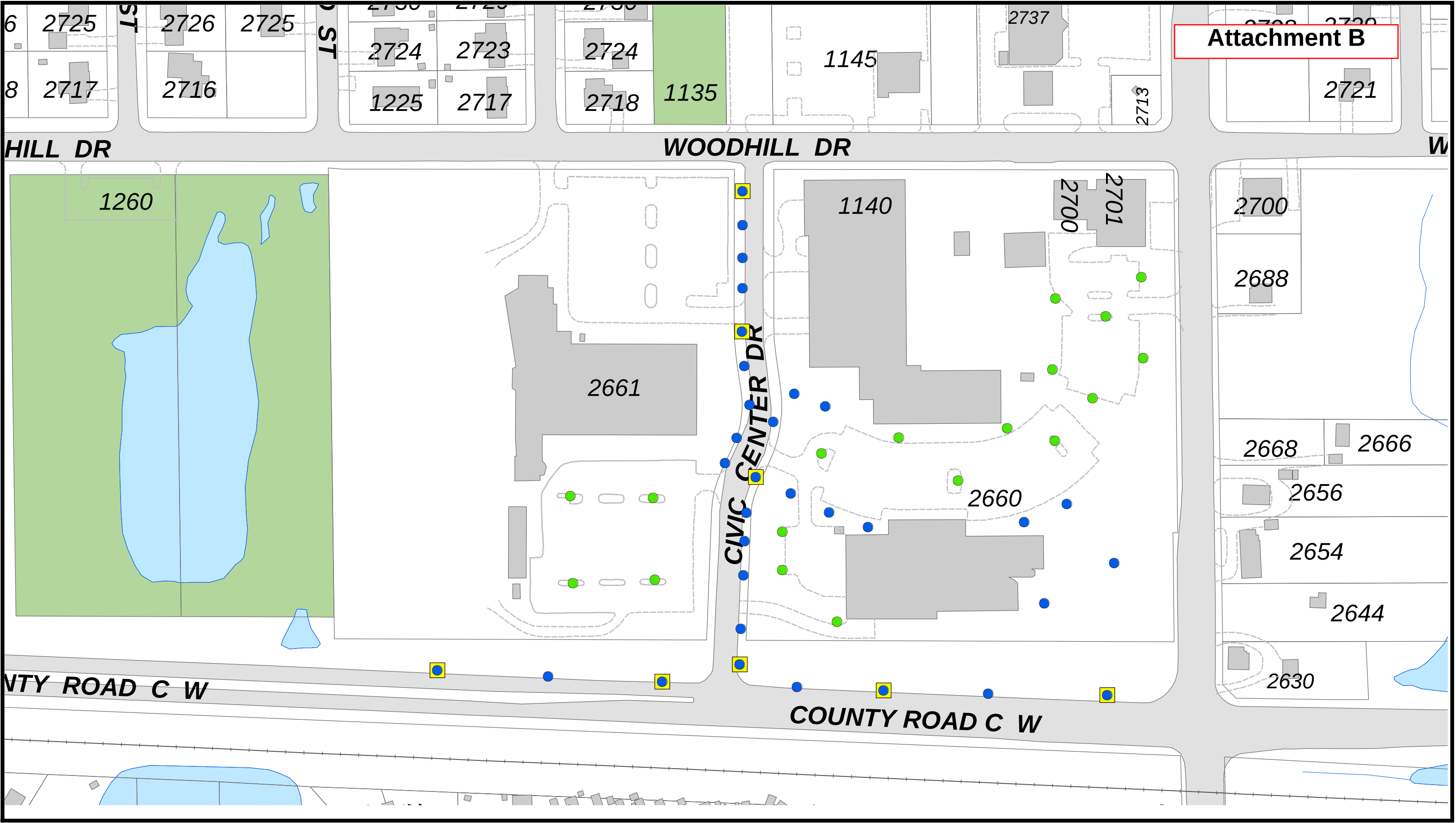
banner 7



banner 8



banner 9



Proposed Smarter Living Banner Locations



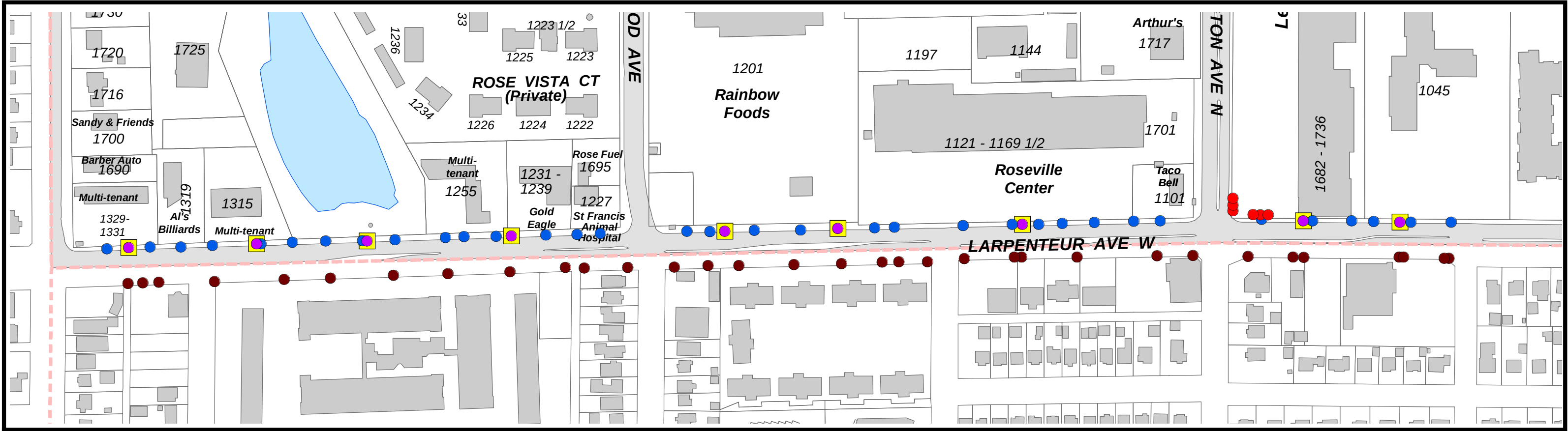
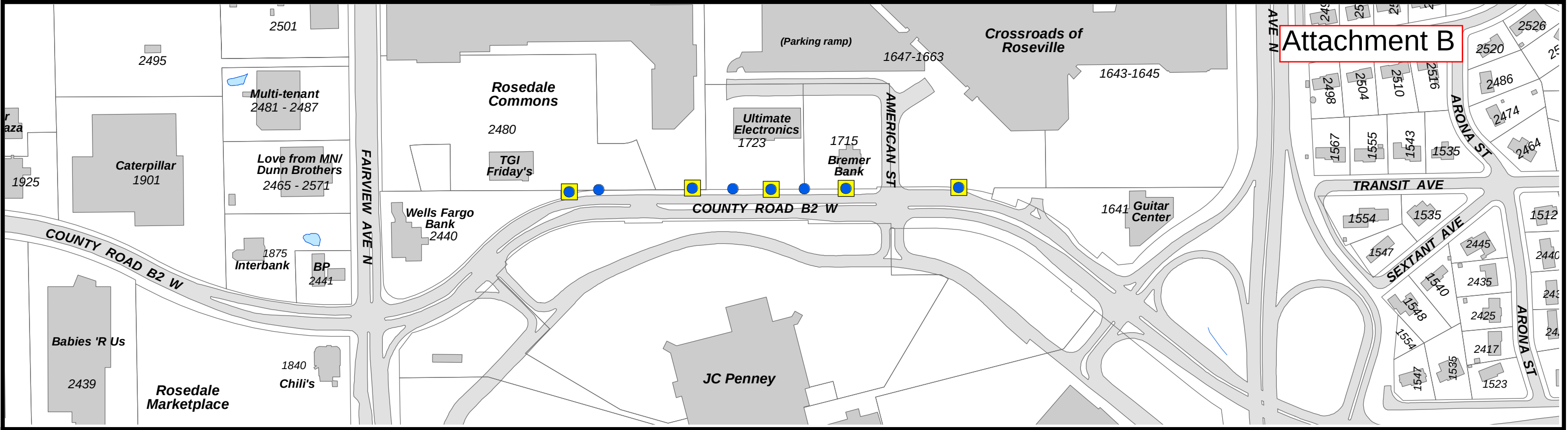
Prepared by:
Engineering Department
May 3, 2011

- Proposed Banner Location (8 total)
- Pedestrian Lights
- Parking Lights

Data Sources and Contacts:
* Ramsey County GIS Base Map (4/04/11)
* City of Roseville Engineering Department
For further information regarding the contents of this map contact:
City of Roseville, Engineering Department,
2660 Civic Center Drive, Roseville MN

DISCLAIMER:
This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-0775. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.





RVA Existing Banner Locations



Prepared by:
Engineering Department
May 3, 2011

- Banner Location (14 total)
- Street Lights
- Pedestrian Lights
- Parking Lights
- Monument Lights
- St. Paul Lights

Data Sources and Contacts:
* Ramsey County GIS Base Map (4/04/11)
* City of Roseville Engineering Department
For further information regarding the contents of this map contact:
City of Roseville, Engineering Department,
2660 Civic Center Drive, Roseville MN

DISCLAIMER:
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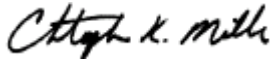
mapdoc: CityOwnedStreetlightExistingBanners.mxd
map: CityOwnedStreetlightExistingBanners.pdf



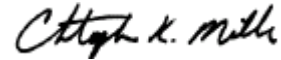
REQUEST FOR COUNCIL ACTION

Date: 05/09/2011
Item No.: 13 . a

Department Approval



Acting City Manager Approval



Item Description: Receive City Council Budget Program Rankings

BACKGROUND

As part of the Council's 2012 Budget process, the Council tasked itself to review and rank the various budget program categories. As a means of guiding this ranking process, the City Council developed the following criteria:

Budget Program Ranking Criteria

On a scale of 1 (lowest) to 5 (highest), each program/function should be rated based on how important or effective it is in achieving the community's vision and goals as expressed in Imagine Roseville 2025, the 2030 Comprehensive Plan, and the Parks & Recreation Master Plan.

In assigning the ratings, the following should be considered:

- ❖ How does the program/function establish and maintain our community's overall high quality of life, ensure the health and well-being of our citizens, and/or contribute to the economic and environmental well-being of Roseville?
- ❖ How does the program/function help to ensure that city services meet industry best practice standards which contribute to the achievement of the community vision and goals?
- ❖ How does the program/function ensure that city services are provided in the most cost-effective manner possible, while still producing measurable results toward achieving the community vision and goals?

The Council composite and individual program rankings as compiled by City Staff are included in *Attachment A*. One Councilmember chose not to participate in the ranking process in favor of a broader perspective. A memo from this Councilmember is included in *Attachment B*.

POLICY OBJECTIVE

Not applicable.

FINANCIAL IMPACTS

Not applicable.

32 **STAFF RECOMMENDATION**

33 Not applicable.

34 **REQUESTED COUNCIL ACTION**

35 For information purposes only. No formal Council action is requested.

36

Prepared by: Chris Miller, Finance Director

Attachments: A: Budget Program Council Rankings

B: Memo from Councilmember McGehee

37

City of Roseville
Priority-Based Budgeting
Tax-Supported Programs
2012

Attachment A - City Council Ranking
SORTED BY DEPARTMENT

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost <u>Current</u>	Council Composite Rank	Council Program Rank (#s 1 - 108)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
City Council	Business Meetings	79,810	3.00	62	3	3	2	4	-
City Council	Community Support / Grants	62,490	3.75	15	5	3	4	3	-
City Council	Intergovernmental Affairs / Memberships	29,490	2.75	77	2	3	3	3	-
City Council	Recording Secretary	12,000	3.00	62	3	3	3	3	-
Advisory Comm.	Human Rights Commission	2,250	2.50	90	2	1	3	4	-
Advisory Comm.	Ethics Commission	2,500	2.25	104	2	1	3	3	-
Administration	Customer Service	38,590	3.50	26	3	3	3	5	-
Administration	Council Support	120,252	2.50	90	2	1	3	4	-
Administration	Records Management/Data Practices	23,852	2.75	77	2	3	3	3	-
Administration	General Communications	64,732	2.50	90	1	3	3	3	-
Administration	Human Resources	108,216	3.25	42	3	3	3	4	-
Administration	Organizational Management	125,113	2.50	90	2	1	3	4	-
Elections	Elections	80,655	2.50	90	3	3	3	1	-
Legal	Civil Attorney	154,500	3.50	26	3	3	3	5	-
Legal	Prosecuting Attorney	138,925	3.50	26	3	3	3	5	-
Finance	Banking & Investment Management	11,012	3.50	26	3	3	3	5	-
Finance	Budgeting / Financial Planning	77,995	4.25	4	5	3	4	5	-
Finance	Business Licenses	8,719	3.25	42	2	3	3	5	-
Finance	Cash Receipts	52,204	3.50	26	3	3	3	5	-
Finance	Contract Administration	7,799	3.00	62	3	3	3	3	-
Finance	Contractual Services (RVA, Cable)	9,519	2.50	90	1	3	3	3	-
Finance	Debt Management	7,799	3.50	26	3	3	3	5	-
Finance	Economic Development	7,799	3.25	42	4	3	4	2	-
Finance	Accounts Payable	34,970	3.25	42	2	3	3	5	-
Finance	Gen. Ledger, fixed assets, financial reporting	149,908	3.25	42	2	3	3	5	-
Finance	Lawful Gambling (partial cost)	4,359	2.75	77	2	3	3	3	-
Finance	Payroll	74,405	3.25	42	2	3	3	5	-
Finance	Receptionist Desk	36,482	2.75	77	4	3	3	1	-
Finance	Risk Management	32,122	3.50	26	3	3	4	4	-
Finance	Utility Billing (partial cost)	7,572	3.00	62	2	3	3	4	-
Finance	Workers Compensation Admin.	48,183	3.00	62	2	3	3	4	-
Finance	Organizational Management	29,823	2.25	104	2	1	2	4	-
Central Services	Central Services	73,500	2.50	90	1	3	3	3	-
Code Enforcement	Code Enforcement	165,000	3.25	42	4	3	3	3	-
General Insurance	General Insurance	84,000	3.50	26	3	3	3	5	-
Police Administration	Response to Public Requests	225,245	3.75	15	4	3	3	5	-
Police Administration	Police Records / Reports	217,766	3.25	42	3	3	3	4	-
Police Administration	Community Liaison	161,338	3.00	62	4	3	2	3	-

City of Roseville
Priority-Based Budgeting
Tax-Supported Programs
2012

Attachment A - City Council Ranking
SORTED BY DEPARTMENT

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost <u>Current</u>	Council Composite Rank	Council Program Rank (#s 1 - 108)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Police Administration	Organizational Management	330,236	2.50	90	2	1	3	4	-
Police Patrol	24 x 7 x 365 First Responder	2,256,492	4.50	1	5	3	5	5	-
Police Patrol	Public Safety Promo / Community Interaction	604,924	3.00	62	3	3	3	3	-
Police Patrol	Dispatch	292,078	3.25	42	2	3	3	5	-
Police Patrol	Police Reports (by officer)	562,260	3.25	42	3	3	3	4	-
Police Patrol	Animal Control	200,477	2.25	104	2	3	2	2	-
Police Patrol	Organizational Management	408,474	2.50	90	2	1	3	4	-
Police Investigations	Crime Scene Processing	44,013	4.00	8	4	3	4	5	-
Police Investigations	Public Safety Promo / Community Interaction	125,603	3.25	42	3	3	4	3	-
Police Investigations	Criminal Prosecutions	665,395	3.75	15	3	3	4	5	-
Police Investigations	Response to Public Requests	10,802	3.25	42	3	3	2	5	-
Police Investigations	Organizational Management	43,207	2.50	90	2	1	3	4	-
Police Comm Services	Community Services	65,955	2.75	77	2	3	3	3	-
Police Emerg. Mgmt	Police Emergency Management	10,185	3.50	26	4	3	3	4	-
Police Lake Patrol	Police Lake Patrol	1,900	1.75	108	1	3	2	1	-
Fire Administration	Fire Administration & Planning	166,325	3.00	62	2	3	3	4	-
Fire Administration	Emergency Management	371	3.50	26	4	3	3	4	-
Fire Administration	Organizational Management	39,159	2.50	90	2	1	3	4	-
Fire Prevention	Fire Administration & Planning	10,197	3.25	42	2	3	4	4	-
Fire Prevention	Fire Prevention	181,038	4.00	8	4	3	5	4	-
Fire Fighting / EMS	Fire Administration & Planning	107,294	2.50	90	2	1	3	4	-
Fire Fighting / EMS	Fire Suppression / Operations	415,400	4.50	1	5	3	5	5	-
Fire Fighting / EMS	Emergency Medical Services	666,036	4.25	4	5	3	5	4	-
Firefighter Training	Firefighter Training	100,355	4.00	8	3	3	5	5	-
Fire Relief	Fire Relief	355,000	3.00	62	2	3	3	4	-
PW Administration	Project Delivery	352,877	3.25	42	3	3	3	4	-
PW Administration	Street Lighting	219,447	2.75	77	3	3	4	1	-
PW Administration	Permitting	49,421	3.00	62	3	3	2	4	-
PW Administration	General Engineering/Customer Service	132,157	3.25	42	3	3	3	4	-
PW Administration	Storm Water Management	36,424	3.25	42	3	3	3	4	-
PW Administration	Organizational Management	112,143	2.50	90	2	1	3	4	-
Streets	Pavement Maintenance	562,881	4.00	8	5	3	4	4	-
Streets	Winter Road Maintenance	222,237	3.50	26	4	3	3	4	-
Streets	Traffic Management & Control	99,456	3.75	15	5	3	3	4	-
Streets	Streetscape & ROW Maintenance	275,093	3.75	15	4	3	4	4	-
Streets	Pathways & Parking Lots	187,242	2.75	77	3	3	2	3	-
Streets	Organizational Management	41,501	3.25	42	2	3	4	4	-
Street Lighting	Street Lighting capital items	64,000	3.00	62	3	3	3	3	-

Attachment A - City Council Ranking
SORTED BY DEPARTMENT

\$ 18,931,869

City of Roseville
Priority-Based Budgeting
Tax-Supported Programs
2012

Attachment A - City Council Ranking
SORTED BY RANKING

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost <u>Current</u>	Council Composite Rank	Council Program Rank (#s 1 - 108)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Police Patrol	24 x 7 x 365 First Responder	2,256,492	4.50	1	5	3	5	5	-
Fire Fighting / EMS	Fire Suppression / Operations	415,400	4.50	1	5	3	5	5	-
Recreation Programs	Volunteer Management	83,631	4.50	1	5	3	5	5	-
Finance	Budgeting / Financial Planning	77,995	4.25	4	5	3	4	5	-
Fire Fighting / EMS	Emergency Medical Services	666,036	4.25	4	5	3	5	4	-
Miscellaneous	Building Replacement	25,000	4.25	4	4	3	5	5	-
Miscellaneous	Park Improvement Program	185,000	4.25	4	4	3	5	5	-
Police Investigations	Crime Scene Processing	44,013	4.00	8	4	3	4	5	-
Fire Prevention	Fire Prevention	181,038	4.00	8	4	3	5	4	-
Firefighter Training	Firefighter Training	100,355	4.00	8	3	3	5	5	-
Streets	Pavement Maintenance	562,881	4.00	8	5	3	4	4	-
Recreation Programs	Program Management	787,975	4.00	8	5	3	4	4	-
Miscellaneous	Equipment Replacement	50,000	4.00	8	4	3	5	4	-
Miscellaneous	Debt Service - Streets	310,000	4.00	8	5	3	3	5	-
City Council	Community Support / Grants	62,490	3.75	15	5	3	4	3	-
Police Administration	Response to Public Requests	225,245	3.75	15	4	3	3	5	-
Police Investigations	Criminal Prosecutions	665,395	3.75	15	3	3	4	5	-
Streets	Traffic Management & Control	99,456	3.75	15	5	3	3	4	-
Streets	Streetscape & ROW Maintenance	275,093	3.75	15	4	3	4	4	-
Recreation Programs	Facility Management	237,591	3.75	15	3	3	4	5	-
Recreation Maint.	Grounds Maintenance	326,279	3.75	15	3	3	5	4	-
Recreation Maint.	Facility Maintenance	329,779	3.75	15	3	3	5	4	-
Recreation Maint.	Natural Resources	139,601	3.75	15	3	3	5	4	-
Miscellaneous	Debt Service - City Hall, PW Bldg.	825,000	3.75	15	4	3	3	5	-
Miscellaneous	Debt Service - Arena	355,000	3.75	15	4	3	3	5	-
Administration	Customer Service	38,590	3.50	26	3	3	3	5	-
Legal	Civil Attorney	154,500	3.50	26	3	3	3	5	-
Legal	Prosecuting Attorney	138,925	3.50	26	3	3	3	5	-
Finance	Banking & Investment Management	11,012	3.50	26	3	3	3	5	-
Finance	Cash Receipts	52,204	3.50	26	3	3	3	5	-
Finance	Debt Management	7,799	3.50	26	3	3	3	5	-
Finance	Risk Management	32,122	3.50	26	3	3	4	4	-
General Insurance	General Insurance	84,000	3.50	26	3	3	3	5	-
Police Emerg. Mgmt	Police Emergency Management	10,185	3.50	26	4	3	3	4	-
Fire Administration	Emergency Management	371	3.50	26	4	3	3	4	-
Streets	Winter Road Maintenance	222,237	3.50	26	4	3	3	4	-
Bldg Maintenance	General Maintenance	358,955	3.50	26	3	3	4	4	-
Central Garage	Vehicle Repair	136,821	3.50	26	3	3	3	5	-

City of Roseville
Priority-Based Budgeting
Tax-Supported Programs
2012

Attachment A - City Council Ranking
SORTED BY RANKING

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost <u>Current</u>	Council Composite Rank	Council Program Rank (#s 1 - 108)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Rec Administration	Planning & Development	78,051	3.50	26	3	3	3	5	-
Skating Center	OVAL	407,038	3.50	26	3	3	4	4	-
Skating Center	Arena	493,320	3.50	26	3	3	4	4	-
Administration	Human Resources	108,216	3.25	42	3	3	3	4	-
Finance	Business Licenses	8,719	3.25	42	2	3	3	5	-
Finance	Economic Development	7,799	3.25	42	4	3	4	2	-
Finance	Accounts Payable	34,970	3.25	42	2	3	3	5	-
Finance	Gen. Ledger, fixed assets, financial reporting	149,908	3.25	42	2	3	3	5	-
Finance	Payroll	74,405	3.25	42	2	3	3	5	-
Code Enforcement	Code Enforcement	165,000	3.25	42	4	3	3	3	-
Police Administration	Police Records / Reports	217,766	3.25	42	3	3	3	4	-
Police Patrol	Dispatch	292,078	3.25	42	2	3	3	5	-
Police Patrol	Police Reports (by officer)	562,260	3.25	42	3	3	3	4	-
Police Investigations	Public Safety Promo / Community Interaction	125,603	3.25	42	3	3	4	3	-
Police Investigations	Response to Public Requests	10,802	3.25	42	3	3	2	5	-
Fire Prevention	Fire Administration & Planning	10,197	3.25	42	2	3	4	4	-
PW Administration	Project Delivery	352,877	3.25	42	3	3	3	4	-
PW Administration	General Engineering/Customer Service	132,157	3.25	42	3	3	3	4	-
PW Administration	Storm Water Management	36,424	3.25	42	3	3	3	4	-
Streets	Organizational Management	41,501	3.25	42	2	3	4	4	-
Rec Administration	Financial Management	58,814	3.25	42	2	3	3	5	-
Rec Administration	Community Services	253,549	3.25	42	2	3	4	4	-
Skating Center	Banquet Area	135,998	3.25	42	3	3	4	3	-
City Council	Business Meetings	79,810	3.00	62	3	3	2	4	-
City Council	Recording Secretary	12,000	3.00	62	3	3	3	3	-
Finance	Contract Administration	7,799	3.00	62	3	3	3	3	-
Finance	Utility Billing (partial cost)	7,572	3.00	62	2	3	3	4	-
Finance	Workers Compensation Admin.	48,183	3.00	62	2	3	3	4	-
Police Administration	Community Liaison	161,338	3.00	62	4	3	2	3	-
Police Patrol	Public Safety Promo / Community Interaction	604,924	3.00	62	3	3	3	3	-
Fire Administration	Fire Administration & Planning	166,325	3.00	62	2	3	3	4	-
Fire Relief	Fire Relief	355,000	3.00	62	2	3	3	4	-
PW Administration	Permitting	49,421	3.00	62	3	3	2	4	-
Street Lighting	Street Lighting capital items	64,000	3.00	62	3	3	3	3	-
Rec Administration	Personnel Management	90,357	3.00	62	3	1	3	5	-
Rec Administration	City-wide Support	28,365	3.00	62	2	3	3	4	-
Skating Center	Department-wide Support	42,986	3.00	62	2	3	3	4	-
Recreation Maint.	City-wide Support	52,403	3.00	62	2	3	3	4	-

Attachment A - City Council Ranking
SORTED BY RANKING

		2011	Council	Council					
		Program Cost	Composite	Program					
<u>Department / Division</u>	<u>Program / Function</u>	<u>Current</u>	<u>Rank</u>	<u>Rank</u>	<u>Roe</u>	<u>Pust</u>	<u>Johnson</u>	<u>Willmus</u>	<u>McGehee</u>
				<u>(#s 1 - 108)</u>	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>
City Council	Intergovernmental Affairs / Memberships	29,490	2.75	77	2	3	3	3	-
Administration	Records Management/Data Practices	23,852	2.75	77	2	3	3	3	-
Finance	Lawful Gambling (partial cost)	4,359	2.75	77	2	3	3	3	-
Finance	Receptionist Desk	36,482	2.75	77	4	3	3	1	-
Police Comm Services	Community Services	65,955	2.75	77	2	3	3	3	-
PW Administration	Street Lighting	219,447	2.75	77	3	3	4	1	-
Streets	Pathways & Parking Lots	187,242	2.75	77	3	3	2	3	-
Bldg Maintenance	Custodial Services	88,360	2.75	77	3	3	2	3	-
Bldg Maintenance	Organizational Management	28,688	2.75	77	2	1	4	4	-
Central Garage	Organizational Management	54,222	2.75	77	2	1	4	4	-
Rec Administration	Organizational Management	31,515	2.75	77	2	1	3	5	-
Recreation Programs	Personnel Management	67,734	2.75	77	3	1	3	4	-
Recreation Programs	Organizational Management	64,345	2.75	77	2	1	4	4	-
Advisory Comm.	Human Rights Commission	2,250	2.50	90	2	1	3	4	-
Administration	Council Support	120,252	2.50	90	2	1	3	4	-
Administration	General Communications	64,732	2.50	90	1	3	3	3	-
Administration	Organizational Management	125,113	2.50	90	2	1	3	4	-
Elections	Elections	80,655	2.50	90	3	3	3	1	-
Finance	Contractual Services (RVA, Cable)	9,519	2.50	90	1	3	3	3	-
Central Services	Central Services	73,500	2.50	90	1	3	3	3	-
Police Administration	Organizational Management	330,236	2.50	90	2	1	3	4	-
Police Patrol	Organizational Management	408,474	2.50	90	2	1	3	4	-
Police Investigations	Organizational Management	43,207	2.50	90	2	1	3	4	-
Fire Administration	Organizational Management	39,159	2.50	90	2	1	3	4	-
Fire Fighting / EMS	Fire Administration & Planning	107,294	2.50	90	2	1	3	4	-
PW Administration	Organizational Management	112,143	2.50	90	2	1	3	4	-
Recreation Maint.	Department-wide Support	116,543	2.50	90	2	1	3	4	-
Advisory Comm.	Ethics Commission	2,500	2.25	104	2	1	3	3	-
Finance	Organizational Management	29,823	2.25	104	2	1	2	4	-
Police Patrol	Animal Control	200,477	2.25	104	2	3	2	2	-
Miscellaneous	Emerald Ash Borer	100,000	2.00	107	2	1	3	2	-
Police Lake Patrol	Police Lake Patrol	1,900	1.75	108	1	3	2	1	-
		\$ 18,931,869							

City of Roseville
Priority-Based Budgeting
Summary of Non-Tax Programs
2012

Attachment A - City Council Ranking
SORTED BY DEPARTMENT

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost	Council Composite Rank	Council Program Rank (#s 1 - 67)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Planning	Planning - Current	300,235	3.50	13	3	3	4	4	-
Planning	Planning - Long Range	59,842	3.50	13	3	3	4	4	-
Planning	Zoning Code Enforcement	23,702	4.00	4	4	3	5	4	-
Planning	Organizational Management	23,554	2.75	39	2	1	4	4	-
Econ. Development	Economic Development and Redevelopment	104,869	3.25	25	4	3	4	2	-
Econ. Development	Organizational Management	7,744	2.25	62	2	1	4	2	-
Code Enforcement	Building Codes Review and Permits	408,335	3.75	7	4	3	4	4	-
Code Enforcement	Nuisance Code Enforcement	33,981	3.25	25	4	3	2	4	-
Code Enforcement	Organizational Management	64,501	2.75	39	2	1	4	4	-
GIS	GIS	65,679	2.75	39	2	3	3	3	-
GIS	Organizational Management	4,882	2.25	62	2	1	3	3	-
Communications	Newsletter / News Reporting	143,552	2.75	39	4	3	3	1	-
Communications	Audio / Visual	69,274	2.75	39	3	3	2	3	-
Communications	Internet / Website	48,154	3.50	13	4	3	4	3	-
Communications	NSCC Member Dues	84,500	2.75	39	2	3	3	3	-
Info Technology	Enterprise Applications	288,538	3.50	13	3	3	4	4	-
Info Technology	Network Services	60,683	3.50	13	3	3	4	4	-
Info Technology	PDA/Mobile Devices	13,219	2.75	39	2	3	3	3	-
Info Technology	Server Management	49,087	3.75	7	4	3	4	4	-
Info Technology	Telephone/Radio Systems	82,937	3.75	7	4	3	4	4	-
Info Technology	Computer/End User Support	551,331	3.50	13	3	3	4	4	-
Info Technology	User Administration	77,684	3.25	25	2	3	4	4	-
Info Technology	Internet Connectivity	33,688	3.75	7	4	3	4	4	-
Info Technology	Facility Security Systems	2,718	3.25	25	2	3	4	4	-
Info Technology	Organizational Management	3,705	2.75	39	2	1	4	4	-
License Center	Passport Issuance	108,069	2.50	60	2	3	3	2	-
License Center	Motor Vehicle Transactions	479,071	2.75	39	2	3	3	3	-
License Center	Identity Applications	144,418	2.75	39	2	3	3	3	-
License Center	DNR Transactions	28,512	2.50	60	2	3	3	2	-
License Center	Daily Sales Reporting & Cash Reconciliation	143,748	3.25	25	2	3	3	5	-
License Center	Inventory and Supplies	16,565	3.00	34	2	3	3	4	-
License Center	Customer Communications/Problem Solving	134,044	3.25	25	3	3	4	3	-
License Center	Bad Check Recording & Recovery	10,989	2.75	39	2	3	3	3	-
License Center	Organizational Management	79,308	2.75	39	2	1	4	4	-
Lawful Gambling	Gambling Licenses & Reports	50,660	2.75	39	2	3	3	3	-
Lawful Gambling	Community Donations	80,000	3.00	34	5	1	3	3	-
Water	Infrastructure Maintenance & Repair	749,891	4.25	2	5	3	4	5	-
Water	System Monitoring & Regulation	138,272	3.75	7	4	3	3	5	-

Attachment A - City Council Ranking
SORTED BY DEPARTMENT

		2011	Council	Council					
		Program	Composite	Program					
<u>Department / Division</u>	<u>Program / Function</u>	<u>Cost</u>	<u>Rank</u>	<u>Rank</u>	<u>Roe</u>	<u>Pust</u>	<u>Johnson</u>	<u>Willmus</u>	<u>McGehee</u>
				(#s 1 - 67)	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>	<u>Rank</u>
Water	Customer Response	112,099	3.50	13	4	3	3	4	-
Water	GIS	25,106	3.00	34	2	3	3	4	-
Water	Utility Billing	189,891	3.50	13	3	3	3	5	-
Water	Metering	442,786	3.25	25	2	3	3	5	-
Water	Wholesale Water Purchase from St. Paul	4,400,000	3.50	13	2	3	4	5	-
Water	System Depreciation	250,000	4.00	4	4	3	4	5	-
Water	Admin Service Charge	350,000	2.75	39	2	3	3	3	-
Water	Organizational Management	412,770	2.75	39	2	1	4	4	-
Sewer	Infrastructure Maintenance & Repair	846,840	4.25	2	5	3	4	5	-
Sewer	Customer Response	63,415	3.50	13	4	3	3	4	-
Sewer	GIS	34,298	2.75	39	2	3	3	3	-
Sewer	Sewage Treatment Costs	2,750,000	3.50	13	2	3	4	5	-
Sewer	System Depreciation	190,000	4.00	4	4	3	4	5	-
Sewer	Admin Service Charge	275,000	2.75	39	2	3	3	3	-
Sewer	Organizational Management	254,045	2.75	39	2	1	4	4	-
Storm Sewer	Infrastructure Maintenance & Repair	882,267	4.50	1	5	3	5	5	-
Storm Sewer	Street Sweeping	279,513	3.25	25	3	3	4	3	-
Storm Sewer	Leaf Collection / Compost Maintenance	263,938	2.00	65	3	3	1	1	-
Storm Sewer	System Depreciation	210,000	3.75	7	4	3	3	5	-
Storm Sewer	Admin Service Charge	78,000	2.75	39	2	3	3	3	-
Storm Sewer	Organizational Management	68,626	2.75	39	2	1	4	4	-
Recycling	Program Administration	21,077	2.00	65	2	1	3	2	-
Recycling	Communications / Outreach efforts	16,061	3.00	34	4	3	3	2	-
Recycling	Data Reporting	9,442	2.00	65	2	1	3	2	-
Recycling	Recycling Pickup Contractor	435,000	2.75	39	2	3	3	3	-
Recycling	Admin Service Charge	10,000	2.25	62	2	3	3	1	-
Golf	Clubhouse Operations	181,154	3.00	34	2	3	3	4	-
Golf	Grounds Maintenance	127,486	3.50	13	2	3	5	4	-
Golf	Department-Wide Support	51,310	3.25	25	2	3	4	4	-
		\$ 18,000,065							

City of Roseville
Priority-Based Budgeting
Summary of Non-Tax Programs
2012

Attachment A - City Council Ranking
SORTED BY RANKING

<u>Department / Division</u>	<u>Program / Function</u>	2011 Program Cost	Council Composite Rank	Council Program Rank (#s 1 - 67)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Storm Sewer	Infrastructure Maintenance & Repair	882,267	4.50	1	5	3	5	5	-
Water	Infrastructure Maintenance & Repair	749,891	4.25	2	5	3	4	5	-
Sewer	Infrastructure Maintenance & Repair	846,840	4.25	2	5	3	4	5	-
Planning	Zoning Code Enforcement	23,702	4.00	4	4	3	5	4	-
Water	System Depreciation	250,000	4.00	4	4	3	4	5	-
Sewer	System Depreciation	190,000	4.00	4	4	3	4	5	-
Code Enforcement	Building Codes Review and Permits	408,335	3.75	7	4	3	4	4	-
Info Technology	Server Management	49,087	3.75	7	4	3	4	4	-
Info Technology	Telephone/Radio Systems	82,937	3.75	7	4	3	4	4	-
Info Technology	Internet Connectivity	33,688	3.75	7	4	3	4	4	-
Water	System Monitoring & Regulation	138,272	3.75	7	4	3	3	5	-
Storm Sewer	System Depreciation	210,000	3.75	7	4	3	3	5	-
Planning	Planning - Current	300,235	3.50	13	3	3	4	4	-
Planning	Planning - Long Range	59,842	3.50	13	3	3	4	4	-
Communications	Internet / Website	48,154	3.50	13	4	3	4	3	-
Info Technology	Enterprise Applications	288,538	3.50	13	3	3	4	4	-
Info Technology	Network Services	60,683	3.50	13	3	3	4	4	-
Info Technology	Computer/End User Support	551,331	3.50	13	3	3	4	4	-
Water	Customer Response	112,099	3.50	13	4	3	3	4	-
Water	Utility Billing	189,891	3.50	13	3	3	3	5	-
Water	Wholesale Water Purchase from St. Paul	4,400,000	3.50	13	2	3	4	5	-
Sewer	Customer Response	63,415	3.50	13	4	3	3	4	-
Sewer	Sewage Treatment Costs	2,750,000	3.50	13	2	3	4	5	-
Golf	Grounds Maintenance	127,486	3.50	13	2	3	5	4	-
Econ. Development	Economic Development and Redevelopment	104,869	3.25	25	4	3	4	2	-
Code Enforcement	Nuisance Code Enforcement	33,981	3.25	25	4	3	2	4	-
Info Technology	User Administration	77,684	3.25	25	2	3	4	4	-
Info Technology	Facility Security Systems	2,718	3.25	25	2	3	4	4	-
License Center	Daily Sales Reporting & Cash Reconciliation	143,748	3.25	25	2	3	3	5	-
License Center	Customer Communications/Problem Solving	134,044	3.25	25	3	3	4	3	-
Water	Metering	442,786	3.25	25	2	3	3	5	-
Storm Sewer	Street Sweeping	279,513	3.25	25	3	3	4	3	-
Golf	Department-Wide Support	51,310	3.25	25	2	3	4	4	-
License Center	Inventory and Supplies	16,565	3.00	34	2	3	3	4	-
Lawful Gambling	Community Donations	80,000	3.00	34	5	1	3	3	-
Water	GIS	25,106	3.00	34	2	3	3	4	-
Recycling	Communications / Outreach efforts	16,061	3.00	34	4	3	3	2	-
Golf	Clubhouse Operations	181,154	3.00	34	2	3	3	4	-

Attachment A - City Council Ranking
SORTED BY RANKING

		2011	Council	Council					
		Program	Composite	Program					
		Cost	Rank	Rank					
Department / Division	Program / Function			(#s 1 - 67)	Roe Rank	Pust Rank	Johnson Rank	Willmus Rank	McGehee Rank
Planning	Organizational Management	23,554	2.75	39	2	1	4	4	-
Code Enforcement	Organizational Management	64,501	2.75	39	2	1	4	4	-
GIS	GIS	65,679	2.75	39	2	3	3	3	-
Communications	Newsletter / News Reporting	143,552	2.75	39	4	3	3	1	-
Communications	Audio / Visual	69,274	2.75	39	3	3	2	3	-
Communications	NSCC Member Dues	84,500	2.75	39	2	3	3	3	-
Info Technology	PDA/Mobile Devices	13,219	2.75	39	2	3	3	3	-
Info Technology	Organizational Management	3,705	2.75	39	2	1	4	4	-
License Center	Motor Vehicle Transactions	479,071	2.75	39	2	3	3	3	-
License Center	Identity Applications	144,418	2.75	39	2	3	3	3	-
License Center	Bad Check Recording & Recovery	10,989	2.75	39	2	3	3	3	-
License Center	Organizational Management	79,308	2.75	39	2	1	4	4	-
Lawful Gambling	Gambling Licenses & Reports	50,660	2.75	39	2	3	3	3	-
Water	Admin Service Charge	350,000	2.75	39	2	3	3	3	-
Water	Organizational Management	412,770	2.75	39	2	1	4	4	-
Sewer	GIS	34,298	2.75	39	2	3	3	3	-
Sewer	Admin Service Charge	275,000	2.75	39	2	3	3	3	-
Sewer	Organizational Management	254,045	2.75	39	2	1	4	4	-
Storm Sewer	Admin Service Charge	78,000	2.75	39	2	3	3	3	-
Storm Sewer	Organizational Management	68,626	2.75	39	2	1	4	4	-
Recycling	Recycling Pickup Contractor	435,000	2.75	39	2	3	3	3	-
License Center	Passport Issuance	108,069	2.50	60	2	3	3	2	-
License Center	DNR Transactions	28,512	2.50	60	2	3	3	2	-
Econ. Development	Organizational Management	7,744	2.25	62	2	1	4	2	-
GIS	Organizational Management	4,882	2.25	62	2	1	3	3	-
Recycling	Admin Service Charge	10,000	2.25	62	2	3	3	1	-
Storm Sewer	Leaf Collection / Compost Maintenance	263,938	2.00	65	3	3	1	1	-
Recycling	Program Administration	21,077	2.00	65	2	1	3	2	-
Recycling	Data Reporting	9,442	2.00	65	2	1	3	2	-
		\$ 18,000,065							

Memo and Budget and Ranking

I have struggled for weeks with how to approach this “ranking” process and have concluded that I will simply explain what I would like to see and why. I hope that if I have misunderstood where we are fiscally and what our challenges are, that someone will take the time to let me know. (What specific comments I have regarding my rankings begin at paragraph 4 on Page 2.)

In my opinion, there are three ways to come to a sustainable future for Roseville and a combination is undoubtedly needed.

1. Raise taxes
2. Reduce spending
3. Increase the tax capacity

My understanding, which has been verified several times by Chris in writings to the Council and directly in meetings, is that Roseville has been spending at least 1.5 million dollars per year than it is taking in. This has continued for at least the past 6 years resulting in a general net loss of funds within our reserve and capital accounts of an amount in the neighborhood of 10 million dollars. This is not sustainable. It is also not possible to begin to ramp up property taxes to try to stop the hemorrhage and concurrently transfuse the funds.

As a new member of the council, I was surprised to find that we do not have a fiscal policy that requires a “balanced budget” that is done without the use of internal or external short-term borrowing, asset sales, or one-time accounting changes to achieve this goal. In the short time I have been on the Council, we have taken \$36,000 out of reserves to fund items that were not identified and funded during the budget cycle. When this was done, there was no discussion as to how or when those funds would be replaced. We have also set aside the 50% reserve level for our Operating Budget, changing it to a range of 35% to 50%. Although I can easily make arguments as to why that might or might not be appropriate, these arguments were not made at the meeting nor was this action presented to staff or the public before the meeting so that other points of view could be presented and heard.

What we know is that most residents are happy with their city and their services. They are not particularly excited about code enforcement as it is currently being done, housing programs as currently understood by residents, and the traffic on their streets. They don’t care too much about extra outreach programs by the police, but they want strong public safety. We know this from the Comprehensive Plan, the Imagine Roseville process, and the survey.

After spending several days looking over the information on the State Auditor’s website and reviewing our city with other first ring suburbs in the metro area, specifically those with retail and commercial growth, we perform reasonably well with respect to our property tax rate.

However, Edina, the first ring suburb most similar to Roseville in size, highway impacts, proximity to downtowns, and retail has consistently provided lower tax rates to its citizens than Roseville. A spot check of per capita expenditures for 1995, 2001, and 2009 show Edina typically below Roseville in several areas: police and ambulance (Edina does its own 911 dispatch and ambulance service), parks and recreation (Edina has a community center and 40 parks and open spaces), and general government. Housing and economic development costs have fluctuated widely, but on balance significantly favor Edina for spending less. Streets and highways and fire expenditures have favored Roseville.

To me, the key appears to be in the type of choices Edina has made regarding development and redevelopment. Although Edina has not appeared to enter the arena of buying land and assembling parcels, it does have a broad based community program of proactive planning. Edina appears to have chosen significantly less “industrial” uses and have worked to attract employers with higher wage jobs. If one compares the diversity of their employment base, it appears to be more varied than ours as well. They have protected their neighborhoods from “pass through” traffic in fact and policy and have built higher and denser in their commercial areas.

I believe that Roseville is currently in an excellent position to redevelop itself for a sustainable future. It cannot get there in this budget cycle, but it can lay the foundation for the future and build on the base that the original founders of Roseville planned when they put the majority of our commercial development in the southern and western area of Roseville.

I have consistently favored long-range planning that has a vision of a “sustainable” future for Roseville. We have land that is in need of redevelopment, not the redevelopment we have invited in the past that serves the desires and bottom line of the developer, but development that serves the long range goals and needs of this community. We don’t need to buy the land, assemble parcels, or provide huge TIF bonuses. We need to have a clear picture, an active wish list, appropriate zoning, and proper codes to guarantee that the residents now and in the future have the type of community anyone would love to call “home,” a community whose citizens are enfranchised and whose government is fiscally secure and responsible. This is possible without a large expenditure of precious resources; it only needs our vision and our will.

This is a very long introduction to how I find myself approaching this budget cycle and my goals as a council member. If anyone is still reading, below is what I can contribute to ranking.

I am perfectly willing to continue to support programs that pay for themselves through fees or external donation, grants, or some form of revenue that is generated outside of public money generated through tax levies. I am delighted to support any number of programs for seniors, youth, adults that are supported through fees or by contracts with health care providers or other governmental entities not part of the Roseville city government. Unfortunately I don’t have any way of discovering exactly those programs are, but staff does. So, if there are programs or

events whose expenditures are not covered by “non-tax” monies, I would be very happy to rank those.

Our police budget has consistently been higher than Edina, as an example. Given this information, I would like to understand what, if anything, can be done to reduce our costs in this area. I do not wish to rank our police service a “3” to indicate that I think we should actively seek assistance from Met Transit and Rosedale if the issues we have seen at Rosedale during this past year are indicative of the problems we can expect in the future. I would like to see an explanation as to why our police costs are so high and suggestions for ways to reduce them without jeopardizing services.

I believe that our current and past expenditures on housing and economic development have not been particularly advantageous to the tax capacity of our city. It has been, and continues to be, an expensive service, but one that could, I believe, be restructured in such a way that it would cost less and provide more service to our residents in terms of increased tax benefits. Ranking the service as a “3” would perhaps be my evaluation of where it is now, but would say nothing about how I believe it could function to be a “5+” operation.

Parks and recreation is a huge plus for Roseville and does an excellent job. Our “pocket parks” add a great deal to every neighborhood lucky enough to have one. To the best of my understanding, most of the programs are self-supporting. Edina has several “enterprises” that are used to offset some of its recreational expenses. I have no idea if such an approach would work in Roseville, but I believe that with the number and quality of volunteers in Roseville, everyone would be willing to help in keeping the cost of ongoing maintenance affordable. We should, and we want to, spend money on our parks and recreation department. It is a service our customers hold very dear and has served the community well since the incorporation of Roseville. Whether we should spend more to expand this service now remains to be seen.

I would like to “rank” the Ethics Commission and Human Rights Commission at the level of a “2,” not because they are not useful, but because they do not need a “budget.” The Human Rights Commission should be provided enough funds for the awards to students and teachers (which seemed unusually low this year) and for the refreshments at the reception. The Ethics Commission should run an excellent training, which it did this year with David Schultz. They should be provided funding for Mr. Schultz or a similar speaker and whatever support is necessary for the staffing of the training session.

I rank The Emerald Ash Borer project a “0.” Even the DNR and U of M entertain no hope of making any dent in the advance of the disease spread by the clear cutting of entire sections of cities. Thus, we should take down our city trees when they become infected, as we would anyway, and individuals should take care of the trees in their own yards.

In general, our departments are headed by professionals and as such can be reasonably expected to provide the council with a budget that is the same as last year. Any expenditure beyond what

was actually spent last year should be accounted for by item, reason for additional funds, and amount being requested. Gas prices fall into that category, but increases should be detailed, not padded. We are in tough times as the city tries to get in touch with its expenditures, so departments such as public works, police, and fire should consider extending the life of vehicles and equipment.

When that is done, department heads and the city manager should make appropriate cuts of 3.7% to reflect our expected loss of revenue from both residential and commercial property taxes. At that point the council will have to begin to make some decisions and recommendations. We will have to raise taxes, of course, but the increase will have to be plausible and, should in my opinion contain funding for some of the capital expenditures we anticipate in the future. I am hopeful that we will also receive a "balanced budget" policy that holds the council to its levy and does not allow us to "borrow from reserves" to buy down the levy.

Tammy McGehee

5/4/11

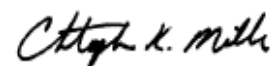
REQUEST FOR COUNCIL ACTION

Date: 5/9/11
Item No.: 13 . b

Department Approval



Acting City Manager Approval



Item Description: Discuss Resolution Requesting Reliability Reports for Electric Power for Roseville Service Area When Requested

BACKGROUND

At a recent city council meeting a resident of the Millwood and Brenner Ave. neighborhood requested the City Council pass a resolution in support of requiring Xcel Energy to provide the city electric reliability information upon request. He provided the city council his recent testimony on this issue to a hearing judge at a public hearing regarding Xcel's rate case that is currently in front of the Public Utilities Commission.

The Public Works Director and this resident met with Xcel in mid 2010 to discuss electric reliability in this neighborhood. Additional local reliability information was requested at that time with Xcel committing to see what they could provide. Additional follow up with Xcel as to when the information would be forthcoming was responded to with "we are working on it".

At a recent SRA meeting the Public Works Director and other suburban city representatives discussed this issue and decided to request SRA Counsel to add this issue to the intervention in Xcel's rate case before the Public Utilities Commission.

The Public Works Director and the concerned resident from the Millwood Brenner neighborhood met with Xcel Energy on May 3, 2011. In attendance were Xcel's Community Relations Specialist for our area and their Director of the Control Center and Trouble Operations. They committed to providing the requested reliability information for the Roseville area and for the Millwood Brenner neighborhood. We had additional conversation about their replacement standards and number of outages required to trigger replacement of lines and devices.

POLICY OBJECTIVE

The Comprehensive Plan supports reliable public utilities for the health, safety, and welfare of Roseville residents and businesses.

BUDGET IMPLICATIONS

Support of this request has no immediate budget implications.

STAFF RECOMMENDATION

Staff recommends that the City Council support the attached resolution requesting reliability reports be made available for Roseville service areas upon request and to forward the resolution and a cover letter in support of the public hearing testimony provided by the requesting resident to the Administrative Judge.

30

31 **REQUESTED COUNCIL ACTION**

32 Adoption of a resolution of requesting Xcel Energy provide electric reliability reports for
33 Roseville service areas upon request and to forward the resolution to the hearing Judge.

34

35 Prepared by: Duane Schwartz, Public Works Director
Attachments: A: Resolution

**EXTRACT OF MINUTES OF MEETING
OF THE
CITY COUNCIL OF THE CITY OF ROSEVILLE**

* * * * *

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, County of Ramsey, Minnesota was duly held on the 9th day of May, 2011, at 6:00 p.m.

The following members were present:

and the following were absent: .

Member introduced the following resolution and moved its adoption:

RESOLUTION No.

**RESOLUTION REQUESTING XCEL ENERGY PROVIDE NEIGHBORHOOD
ELECTRIC RELIABILITY INFORMATION TO THE CITY UPON REQUEST**

WHEREAS, the city's Comprehensive Plan supports reliable public utilities to serve it's residents and businesses; and

WHEREAS, we have had some complaints over the number of electrical outages in some neighborhoods in Roseville over the past 10 years; and

WHEREAS, the city has requested electric reliability information from Xcel Energy for certain neighborhoods and the Roseville area; and

WHEREAS, Xcel Energy has been slow at providing the requested information.

NOW, THEREFORE, BE IT RESOLVED, that the Roseville City Council requests Xcel Energy to provide timely neighborhood or area wide electric reliability information to the City upon request.

The motion for the adoption of the foregoing resolution was duly seconded by Member

, and upon a vote being taken thereon, the following voted in favor thereof:

and the following voted against the same: none.

WHEREUPON said resolution was declared duly passed and adopted.

STATE OF MINNESOTA)
) ss
COUNTY OF RAMSEY)

I, the undersigned, being the duly qualified City Manager of the City of Roseville, County of Ramsey, State of Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a regular meeting of said City Council held on the 9th day of May, 2011 with the original thereof on file in my office.

WITNESS MY HAND officially as such Manager this 9th day of May, 2011.

William J. Malinen, City Manager

(Seal)

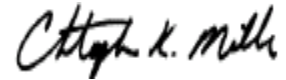
REQUEST FOR COUNCIL ACTION

Date: May 9, 2011
Item No.: 13 . C

Department Approval



Acting City Manager Approval



Item Description: Set Public Hearing Date for Amendment to Tax Increment Financing District 18 (TIF District 18) and Discussion on TIF Agreement with AEON.

BACKGROUND

On March 11, 2009, Aeon, the owners of the Sienna Green Apartment (formerly known as Har Mar Apartments), submitted a formal request to the City for the consideration to establish a housing tax increment financing (TIF) district on their parcel. The purpose of their request was to create a funding source to fill the projected financial gap in the second phase of their initiative to revitalize this aging apartment property. Under Phase II of the development, Aeon will construct a new 50-unit apartment building consisting of a combination of affordable two- and three-bedroom, units.

On July 13, 2009, the Roseville City Council established TIF District #18 to assist the project. (Attachment A) The City and AEON also entered into a Memorandum of Understanding (MOU) in September 2009 that outlined the parameters of a future TIF Agreement that demonstrated to the Minnesota Housing and Financing Agency (MHFA) that there would be funding for the projected gap in the development. The 2009 MOU (Attachment B) identified that the District would generate approximately \$2,194,515 over the maximum term of 26 years of the district, with a present value of \$934,481. At the time of the TIF District creation, it was estimated that AEON's gap was \$913,610. The MOU also indicated that the TIF assistance would be in the form of pay-as-you-go assistance.

In late 2010, AEON has secured funding from the MHFA and is now ready to move ahead with the development. Now that the state funding is in place, staff and AEON have been working on the TIF Agreement. As part of that discussion, it has become clear that the original TIF plan needs to be amended for several reasons.

First and foremost, AEON has acquired a triangular piece of land that previously had a MnDOT easement over it as part of the Hwy. 36 construction. The triangular piece of land has been incorporated as part of the development and will have a very small portion of the new building on it. Therefore we need to modify the boundary of the TIF District to include the triangular piece of land.

Second, with the completion of Sienna Green Phase I, (the rehab of the existing units), the City now has received information that the values of the rehabbed units are higher than originally estimated. Because of that, the TIF Plan should be amended to reflect the greater amount of TIF that will be generated.

31 Finally, with all of the other financing in place, AEON has identified that actual gap for the
32 Phase II project. Initially, it was estimated that AEON would need \$913, 610 in assistance. It
33 has now been determined that the gap is \$938,610. In order for the project to be successful, the
34 TIF Plan budget will need to be amended.

35 Changes to the TIF plan will require a public hearing prior to being amended. Staff is requesting
36 that the City Council set a public hearing for June 13, 2011 by passing the resolution contained
37 in Attachment C.

38 Given that the MOU stated that the TIF assistance would be pay-as-you-go, AEON has been
39 working with banks and MHFA to find additional loaned funds to carry the costs of the project
40 until they can be paid off via the pay-as-you-go method. AEON has encountered some difficulty
41 in securing these funds with the current challenges in the credit market. AEON would like to
42 discuss other options for receiving TIF assistance, including receiving up-front TIF funds, with
43 the City Council.

44 **POLICY OBJECTIVE**

45 By setting a public hearing date to consider an amendment to TIF District 18, the City is
46 furthering its goal in providing affordable housing.

47 **BUDGET IMPLICATIONS**

48 There will not be any budget and financial implications by setting the date for a public hearing to
49 amend TIF 18 plan nor in amending it. Depending on the negotiated TIF Agreement, there may
50 be budget and financial implications for the City . However, that is expected to be decided on
51 June 13, 2011 and not at this time.

52 **STAFF RECOMMENDATION**

53 Staff recommends that the City Council adopt the attached resolution and set a public hearing
54 date of June 13, 2011 to consider amending TIF District 18.

55 **REQUESTED COUNCIL ACTION**

56 Motion to ADOPT a resolution setting June 13, 2011 as the public hearing date to consider and
57 amendment to TIF District 18.

Prepared by: Patrick Trudgeon, Community Development Director

Attachments: A: TIF District 18 Plan, as adopted July 13, 2009
B: Executed Memorandum of Understanding between the City and AEON, dated Sept. 28, 2009
C: Resolution setting June 13, 2011 as the public hearing date to consider amendments to the TIF
District 18 Plan.

City of Roseville, Minnesota

Tax Increment Financing Plan

for

Tax Increment Financing (Housing) District No. 18

Within

Development District No. 1

(Har Mar Apartments Project)

Approved: July 13, 2009

Prepared by:

**SPRINGSTED INCORPORATED
380 Jackson Street, Suite 300
St. Paul, MN 55101-2887
(651) 223-3000
WWW.SPRINGSTED.COM**

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Section A Definitions

The terms defined in this section have the meanings given herein, unless the context in which they are used indicates a different meaning:

"Authority" means the Roseville Housing and Redevelopment Authority, Minnesota.

"City" means the City of Roseville, Minnesota; also referred to as a "Municipality".

"City Council" means the City Council of the City; also referred to as the "Governing Body".

"County" means Ramsey County, Minnesota.

"Development District" means the City's Development District No. 1 in the City, originally created October 13, 1982, which is described in the corresponding Development Program.

"Development Program" means the Restated Development Program for the Development District dated June 20, 2005.

"Project Area" means the geographic area of the Development District.

"School District" means Roseville Area School District No. 623, Minnesota.

"State" means the State of Minnesota.

"TIF Act" means Minnesota Statutes, Sections 469.174 through 469.1799, both inclusive.

"TIF District" means Tax Increment Financing (Housing) District No. 18.

"TIF Plan" means the tax increment financing plan for the TIF District (this document).

Section B Statement and Finding of Public Purpose

See Section A of the Development Program for the Development District.

Section C Statutory Authorization

See Section B of the Development Program for the Development District.

Section D Statement of Objectives

See Section F.1. of the Development Program for the Development District.

Section E Designation of Tax Increment Financing District as a Housing District

Pursuant to the TIF Act, the City seeks to create TIF District No. 18 and adopt a TIF Plan for the TIF District. The Authority will review the TIF Plan prior to City adoption. TIF District No. 18 is a Housing District.

Housing districts are a type of tax increment financing district that consist of a project intended for occupancy, in part, by persons or families of low and moderate income. Low and moderate income is defined in federal, state, and

municipal legislation. A project does not qualify if more than 20% of the square footage of buildings that receive assistance from tax increments consist of commercial, retail or other nonresidential use.

In addition, housing districts are subject to various income limitations and requirements for residential property. For owner occupied residential property, 95% of the housing units must be initially purchased and occupied by individuals whose family income is less than or equal to the income requirements for qualified mortgage bond projects under section 143(f) of the Internal Revenue Code. For residential rental property, the property must satisfy the income requirements for a qualified residential rental project as defined in section 142(d) of the Internal Revenue Code.

The TIF District meets the above qualifications for these reasons:

1. The planned improvements consist of the following:
 - a. No owner-occupied housing units.
 - b. 168 rental units, for which one of the following will apply:
 - at least 20% of the rental units will be occupied by persons with incomes no greater than 50% of area median income
 - at least 40% of the rental units will be occupied by persons with incomes no greater than 60% of area median income
2. No improvements are planned other than housing.
3. The City will require in the development agreement that the income limitations for all rental units apply for the duration of the TIF District.

Tax increment revenues derived from a housing district must be used solely to finance the cost of housing projects as defined above. The cost of public improvements directly related to the housing projects and the allocated administrative expenses of the City may be included in the cost of a housing project.

Section F Duration of the TIF District

Housing districts may remain in existence 25 years from the date of receipt by the City of the first tax increment. Modifications of this plan (see Section Z) shall not extend these limitations.

The City elects to receive increment beginning in tax payable year 2013 pursuant to Minnesota Statutes, Section 469.175, subdivision 1(a)(8)(b). The City reserves the right to allow the TIF District to remain in existence the maximum duration allowed by law, through the year 2038. The City will decertify TIF District No. 18 once the projected increment has been received to fulfill the existing TIF District obligations. All tax increments from taxes payable in the year the TIF District is decertified shall be paid to the City.

Section G Property to be Included in the TIF District

The TIF District is an approximate 5.42-acre area of land located within the Project Area. A map showing the location of the TIF District is shown in Exhibit I. The boundaries, area, and parcel encompassed by the TIF District are described below:

<u>Parcel ID Number</u>	<u>Legal Description</u>
09-29-23-44-0247 *	The south 7 acres of the NE Quarter of the SE Quarter of the SE Quarter (NE¼ of SE¼ of SE¼), Section Nine (9), Township Twenty-Nine (29), Range Twenty-Three (23), according to the Government Survey thereof, all subject to roadway easements.

*The parcel listed above will be replatted; as a result new parcel ID numbers and legal descriptions will replace that listed above.

The area encompassed by the TIF District shall also include all street or utility right-of-ways located upon or adjacent to the property described above.

Section H Property to be Acquired in the TIF District

The City may acquire and sell any or all of the property located within the TIF District. The City does not anticipate acquiring any such property at this time, but may reimburse developers for the cost of such acquisition.

Section I Specific Development Expected to Occur Within the TIF District

The proposed project includes the redevelopment of the Har Mar Apartments project. The project is expected to be completed in two phases. Phase 1 shall consist of the complete rehabilitation of 120 existing one-bedroom apartment units within five buildings. Phase 2 shall consist of the construction of 48 two-and three-bedroom apartment units within one building. Phase 1 shall also include the subdivision, reconfiguration and redevelopment of the site, which will reduce surface parking, maximize green space, and connect the buildings through landscaping and improved walkways.

The proposed project will transform a blighted, semi-vacant property into a 168-total-unit apartment community for persons and families of low to moderate income. The project will comply with the Tax Increment Financing (Housing) District income requirements for rental property (i.e., either 20% of the units must be rented to persons whose income is 50% or less of area median income or 40% must be rented to persons 60% or less of area median income).

Ten of the 168 rehabilitated and constructed apartments will provide housing for individuals experiencing long-term homelessness and who earn less than 30% of the area median income (AMI). Ninety-six one-bedroom units will be restricted for persons or families who earn less than 60% AMI. The remaining 12 one-bedroom units will be unrestricted at market rate. All of the 48 two-and three-bedroom units will be restricted for those earning less than 60% AMI. Therefore the project will comply with the provisions of a Housing TIF District whereby at least 40% of the units will be restricted for persons with 60% or less AMI.

The City anticipates using tax increment revenues to finance a portion of the rehabilitation and construction costs, through property acquisition, associated with Phase 2 of the project as well as related administrative expenses to reduce the cost of providing affordable housing in the City, as described further in Section K.

Phase 1 of the project is expected to commence construction in summer of 2009 and be completed by August 2010; Phase 2 of the project is expected to commence construction in April 2010, and be completed by March 2011. Partial assessments are anticipated on January 2, 2011, and the fully completed project will be 100% assessed and on the tax rolls as of January 2, 2012, for taxes payable in 2013.

At the time this document was prepared there were no signed development contracts with regards to the above described development.

Section J Findings and Need for Tax Increment Financing

In establishing the TIF District, the City makes the following findings:

- (1) The TIF District qualifies as a housing district;

See Section E of this document for the reasons and facts supporting this finding.

- (2) The proposed development, in the opinion of the City, would not reasonably be expected to occur solely through private investment within the reasonably foreseeable future, and the increased market value of the site that could reasonably be expected to occur without the use of tax increment would be less than the increase in market value estimated to result from the proposed development after subtracting the present value of the projected tax increments for the maximum duration of the TIF District permitted by the TIF Plan.

The proposed development is a rental housing project consisting of the rehabilitation of approximately 120 units and the new construction of approximately 48 units in the City of Roseville. All but 12 of the total units rehabilitated will be affordable to persons at or below 60% of the area median income. The City has reviewed project information submitted by the proposed developer showing that the cost of providing low-to-moderate income housing makes the proposed development infeasible without some level of assistance.

Creating high-quality affordable housing in the proposed TIF district area entails the acquisition and subdivision of the existing property, complete rehabilitation of the existing buildings, the construction of new affordable housing and improvements to related infrastructure. Phase 1 and Phase 2 will be financed separately with each phase securing an allocation of low-income housing tax credits. Although Phase 1 of the project has secured funding from multiple additional sources, Phase 2 funding is not anticipated to leverage as many additional funding sources and shows a financing gap to be filled with TIF. Therefore, it is believed that Phase 2 would not happen "But-For" the TIF. Furthermore, the funding entities participating in the Phase 1 financing require the completion of Phase 2 of the Project, which constructs the 48 new affordable family-sized units. Therefore, we conclude that the proposed Project (Phases 1 and 2) would not happen "But-For" the TIF.

The increased market value of the site that could reasonably be expected to occur without the use of tax increment financing would be less than the increase in market value estimated to result from the proposed development after subtracting the present value of the projected tax increments for the maximum duration of the TIF District permitted by the TIF Plan. Without the TIF District, the City has no reason to expect that the rehabilitation and new construction would occur without assistance similar to that provided in this plan. [If we are to agree with the assumption] that the proposed project maximizes the site density, then it is reasonable to assume that no development will occur that will create a greater market value than that which is proposed in this project. Therefore, the City concludes as follows:

- a. The City's estimate of the amount by which the market value of the site will increase without the use of tax increment financing is \$0, beyond a small amount attributable to appreciation in land value.
- b. If all development occurs as proposed, the total increase in market value would be approximately \$16,917,395, which includes a 2.5% annual market value inflator.
- c. The present value of tax increment revenues from the District for the maximum duration of as permitted by the TIF Plan is estimated to be \$938,650 (See Exhibit V).

- d. Even if some development other than the proposed development were to occur, the Council finds that no alternative would occur that would produce a market value increase greater than \$15,978,745 (the amount in clause b less the amount in clause c) without tax increment assistance.

A comparative analysis of estimated market values both with and without establishment of the TIF District and the use of tax increments assumes no development will occur on the site without assistance. The site is controlled by a developer that only anticipates creating an affordable housing project requiring assistance. We assume the estimated market value without creation of the district would only increase at most by an incremental inflationary amount. The increase in estimated market value of the proposed development (less the indicated subtractions) exceeds the estimated market value of the site absent the establishment of the TIF District and the use of tax increments.

- (3) The TIF Plan conforms to the general plan for development or redevelopment of the City as a whole; and

The reasons and facts supporting this finding are that the TIF District is properly zoned, and the TIF Plan has been approved by the City Planning Commission and will generally complement and serve to implement policies adopted in the City's Comprehensive Plan.

- (4) The TIF Plan will afford maximum opportunity, consistent with the sound needs of the City as a whole, for the development of the Project Area by private enterprise.

The reasons and facts supporting this finding are that the development activities are necessary so that development and redevelopment by private enterprise can occur within the Project Area.

Section K Estimated Public Costs

The estimated public costs of the TIF District are listed below. Such costs are eligible for reimbursement from tax increments of the TIF District.

Land/Building acquisition	\$913,610
Site Improvements/Demolition costs	0
Installation of public utilities	0
Streets and sidewalks	0
Bond/Note principal	0
Bond/Note interest, inc. capitalized interest	1,027,207
Administrative expenses	219,461
Other –Potential Affordable Housing Costs	59,337
Total	<u>\$2,219,615</u>

The City reserves the right to administratively adjust the amount of any of the items listed above or to incorporate additional eligible items, so long as the total estimated public cost is not increased.

Section L Estimated Sources of Revenue

Tax Increment revenue	\$2,194,615
Interest on invested funds	25,000
Bond/Note proceeds	0
Real estate sales	0
Other	0
Total	<u>\$2,219,615</u>

The City anticipates providing financial assistance to the proposed development on a pay-as-you-go technique. Under the pay-as-you-go scenario, future tax increments received from the property within the TIF District are distributed to the developer/owner as reimbursement for public costs incurred (see Section K).

The City reserves the right to finance any or all public costs of the TIF District using pay-as-you-go assistance, internal funding, general obligation or revenue debt, or any other financing mechanism authorized by law. The City also reserves the right to use other sources of revenue legally applicable to the Project Area to pay for such costs including, but not limited to, special assessments, utility revenues, federal or state funds, and investment income.

Section M Estimated Amount of Bonded Indebtedness

The City does not anticipate issuing tax increment bonds to finance the estimated public costs of the TIF District. However it reserves the right to issue an amount that would not exceed \$1,005,000 (\$913,610 plus 10% overage).

Section N Original Net Tax Capacity

The County Auditor shall certify the original net tax capacity of the TIF District. This value will be equal to the total net tax capacity of all property in the TIF District as certified by the State Commissioner of Revenue. For districts certified between January 1 and June 30, inclusive, this value is based on the previous assessment year. For districts certified between July 1 and December 31, inclusive, this value is based on the current assessment year.

The Estimated Market Value of all property within the TIF District as of January 2, 2008, for taxes payable in 2009, is \$5,000,000. Upon establishment of the TIF District, and subsequent reclassification of a portion of the property to rental from affordable rental, it is estimated that the original net tax capacity of the TIF District will be approximately \$39,286.

Each year the County Auditor shall certify the amount that the original net tax capacity has increased or decreased as a result of:

- (1) changes in the tax-exempt status of property;
- (2) reductions or enlargements of the geographic area of the TIF District;
- (3) changes due to stipulation agreements or abatements; or
- (4) changes in property classification rates.

Section O Original Tax Capacity Rate

The County Auditor shall also certify the original tax capacity rate of the TIF District. This rate shall be the sum of all local tax rates that apply to property in the TIF District. This rate shall be for the same taxes payable year as the original net tax capacity.

In future years, the amount of tax increment generated by the TIF District will be calculated using the lesser of (a) the sum of the current local tax rates at that time or (b) the original tax capacity rate of the TIF District.

The sum of all local tax rates that apply to property in the TIF District, for taxes levied in 2008 and payable in 2009, was 89.848% as shown below. The County Auditor shall certify this amount as the original tax capacity rate of the TIF District.

<u>Taxing Jurisdiction</u>	<u>Final 2008/2009 Local Tax Rate</u>
City of Roseville	24.545%
Ramsey County	46.546%
SD # »#623	10.624%
Other	8.133%
Total	89.848%

**Section P Projected Retained Captured Net Tax Capacity and
Projected Tax Increment**

The City anticipates that the project will be completed by December 31, 2012 creating a total tax capacity for TIF District No. 18 of \$99,289 as of January 2, 2013. The captured tax capacity as of that date is estimated to be \$60,003 and the first full year of tax increment is estimated to be \$53,911 payable in 2014. A complete schedule of estimated tax increment from the TIF District is shown in Exhibit III.

The estimates shown in this TIF Plan assume that affordable rental housing class rates remain at 0.75% of the estimated market value, market rate rental housing class rates remain at 1.25% of the estimated market value, and assume a 2.5% annual increase in market values.

Each year the County Auditor shall determine the current net tax capacity of all property in the TIF District. To the extent that this total exceeds the original net tax capacity, the difference shall be known as the captured net tax capacity of the TIF District.

The County Auditor shall certify to the City the amount of captured net tax capacity each year. The City may choose to retain any or all of this amount. It is the City's intention to retain 100% of the captured net tax capacity of the TIF District. Such amount shall be known as the retained captured net tax capacity of the TIF District.

Exhibit II gives a listing of the various information and assumptions used in preparing a number of the exhibits contained in this TIF Plan. Exhibit III shows the projected tax increment generated over the anticipated life of the TIF District.

Section Q Use of Tax Increment

Each year the County Treasurer shall deduct 0.36% of the annual tax increment generated by the TIF District and pay such amount to the State's General Fund. Such amounts will be appropriated to the State Auditor for the cost of

financial reporting and auditing of tax increment financing information throughout the state. Exhibit III shows the projected deduction for this purpose over the anticipated life of the TIF District.

The City has determined that it will use 100% of the remaining tax increment generated by the TIF District for any of the following purposes:

- (1) pay for the estimated public costs of the TIF District, including any eligible pooling projects, (see Section K) and County administrative costs associated with the TIF District (see Section T);
- (2) pay principal and interest on tax increment bonds or other bonds issued to finance the estimated public costs of the TIF District;
- (3) accumulate a reserve securing the payment of tax increment bonds or other bonds issued to finance the estimated public costs of the TIF District;
- (4) pay all or a portion of the county road costs as may be required by the County Board under M.S. Section 469.175, Subdivision 1a; or
- (5) return excess tax increments to the County Auditor for redistribution to the City, County and School District.

Tax increments from property located in one county must be expended for the direct and primary benefit of a project located within that county, unless both county boards involved waive this requirement. Tax increments shall not be used to circumvent levy limitations applicable to the City.

Tax increment shall not be used to finance the acquisition, construction, renovation, operation, or maintenance of a building to be used primarily and regularly for conducting the business of a municipality, county, school district, or any other local unit of government or the State or federal government, or for a commons area used as a public park, or a facility used for social, recreational, or conference purposes. This prohibition does not apply to the construction or renovation of a parking structure or of a privately owned facility for conference purposes.

If there exists any type of agreement or arrangement providing for the developer, or other beneficiary of assistance, to repay all or a portion of the assistance that was paid or financed with tax increments, such payments shall be subject to all of the restrictions imposed on the use of tax increments. Assistance includes sale of property at less than the cost of acquisition or fair market value, grants, ground or other leases at less than fair market rent, interest rate subsidies, utility service connections, roads, or other similar assistance that would otherwise be paid for by the developer or beneficiary.

Section R Excess Tax Increment

In any year in which the tax increments from the TIF District exceed the amount necessary to pay the estimated public costs authorized by the TIF Plan, the City shall use the excess tax increments to:

- (1) prepay any outstanding tax increment bonds;
- (2) discharge the pledge of tax increments thereof;
- (3) pay amounts into an escrow account dedicated to the payment of the tax increment bonds; or
- (4) return excess tax increments to the County Auditor for redistribution to the City, County and School District. The County Auditor must report to the Commissioner of Education the amount of any excess tax increment redistributed to the School District within 30 days of such redistribution.

Section S Tax Increment Pooling and the Five Year Rule

As permitted under Minnesota Statutes, Section 469.1763, subdivision 2(b) and subdivision 3(a)(5), any expenditures of increment from the TIF District to pay the cost of a "housing project" as defined in Minnesota Statutes, Section 469.174, subd. 11 will be treated as an expenditure within the district for the purposes of the "pooling rules" and the "five year rule". The City does not currently anticipate that tax increments will be spent outside the TIF District (except allowable administrative expenses), but such expenditures are expressly authorized in this TIF Plan.

Section T Limitation on Administrative Expenses

Administrative expenses are defined as all costs of the City other than:

- (1) amounts paid for the purchase of land;
- (2) amounts paid for materials and services, including architectural and engineering services directly connected with the physical development of the real property in the project;
- (3) relocation benefits paid to, or services provided for, persons residing or businesses located in the project;
- (4) amounts used to pay principal or interest on, fund a reserve for, or sell at a discount bonds issued pursuant to section 469.178; or
- (5) amounts used to pay other financial obligations to the extent those obligations were used to finance costs described in clause (1) to (3).

Administrative expenses include city staff time used to establish and administer the TIF District, the amounts paid for services provided by bond counsel, fiscal consultants, planning or economic development consultants, and actual costs incurred by the County in administering the TIF District. Tax increments may be used to pay administrative expenses of the TIF District up to the lesser of (a) 10% of the total estimated public costs authorized by the TIF Plan or (b) 10% of the total tax increment expenditures for the project.

Section U Limitation on Property Not Subject to Improvements - Four Year Rule

If after four years from certification of the TIF District no demolition, rehabilitation, renovation, or qualified improvement of an adjacent street has commenced on a parcel located within the TIF District, then that parcel shall be excluded from the TIF District and the original net tax capacity shall be adjusted accordingly. Qualified improvements of a street are limited to construction or opening of a new street, relocation of a street, or substantial reconstruction or rebuilding of an existing street. The City must submit to the County Auditor, by February 1 of the fifth year, evidence that the required activity has taken place for each parcel in the TIF District.

If a parcel is excluded from the TIF District and the City or owner of the parcel subsequently commences any of the above activities, the City shall certify to the County Auditor that such activity has commenced and the parcel shall once again be included in the TIF District. The County Auditor shall certify the net tax capacity of the parcel, as most recently certified by the Commissioner of Revenue, and add such amount to the original net tax capacity of the TIF District.

Section V Estimated Impact on Other Taxing Jurisdictions

Exhibit IV shows the estimated impact on other taxing jurisdictions if the maximum projected retained captured net tax capacity of the TIF District was hypothetically available to the other taxing jurisdictions. The City believes that

there will be no adverse impact on other taxing jurisdictions during the life of the TIF District, since the proposed development would not have occurred without the establishment of the TIF District and the provision of public assistance. A positive impact on other taxing jurisdictions will occur when the TIF District is decertified and the development therein becomes part of the general tax base.

The fiscal and economic implications of the proposed tax increment financing district, as pursuant to Minnesota Statutes, Section 469.175, Subdivision 2, are listed below.

1. The total amount of tax increment that will be generated over the life of the district is estimated to be \$2,202,544.
2. To the extent the project in the proposed TIF District No. 18 generates any public cost impacts on city-provided services such as police and fire protection, public infrastructure, and borrowing costs attributable to the district, such costs will be levied upon the taxable net tax capacity of the City, excluding that portion captured by the District.
3. The amount of tax increments over the life of the district that would be attributable to school district levies, assuming the school district's share of the total local tax rate for all taxing jurisdictions remained the same, is estimated to be **\$260,438**.
4. The amount of tax increments over the life of the district that would be attributable to county levies, assuming the county's share of the total local tax rate for all taxing jurisdictions remained the same is estimated to be **\$1,141,034**.
5. No additional information has been requested by the county or school district that would enable it to determine additional costs that will accrue to it due to the development proposed for the district. To our knowledge neither entity has adopted standard questions in a written policy on information requested for fiscal and economic implications.

Section W Prior Planned Improvements

The City shall accompany its request for certification to the County Auditor (or notice of district enlargement), with a listing of all properties within the TIF District for which building permits have been issued during the 18 months immediately preceding approval of the TIF Plan. The County Auditor shall increase the original net tax capacity of the TIF District by the net tax capacity of each improvement for which a building permit was issued.

There have been no building permits issued in the last 18 months in conjunction with any of the properties within the TIF District.

Section X Development Agreements

If within a project containing a housing district, more than 25% of the acreage of the property to be acquired by the City is purchased with tax increment bonds proceeds (to which tax increment from the property is pledged), then prior to such acquisition, the City must enter into an agreement for the development of the property. Such agreement must provide recourse for the City should the development not be completed.

The City anticipates entering into an agreement for development, but does not anticipate acquiring any property located within the TIF District.

Section Y Assessment Agreements

The City may, upon entering into a development agreement, also enter into an assessment agreement with the developer, which establishes a minimum market value of the land and improvements for each year during the life of the TIF District.

The assessment agreement shall be presented to the County Assessor who shall review the plans and specifications for the improvements to be constructed, review the market value previously assigned to the land, and so long as the minimum market value contained in the assessment agreement appears to be an accurate estimate, shall certify the assessment agreement as reasonable. The assessment agreement shall be filed for record in the office of the County Recorder of each county where the property is located. Any modification or premature termination of this agreement must first be approved by the City, County, and School District.

The City does not anticipate entering into an assessment agreement at this time.

Section Z Modifications of the Tax Increment Financing Plan

Any reduction or enlargement in the geographic area of the Project Area or the TIF District, increase in the amount of bonded indebtedness to be incurred, increase in that portion of the captured net tax capacity to be retained by the City, increase in the total estimated public costs, or designation of additional property to be acquired by the City shall be approved only after satisfying all the necessary requirements for approval of the original TIF Plan. This paragraph does not apply if:

- (1) the only modification is elimination of parcels from the TIF District; and
- (2) the current net tax capacity of the parcels eliminated equals or exceeds the net tax capacity of those parcels in the TIF District's original net tax capacity, or the City agrees that the TIF District's original net tax capacity will be reduced by no more than the current net tax capacity of the parcels eliminated.

The City must notify the County Auditor of any modification that reduces or enlarges the geographic area of the TIF District. The geographic area of the TIF District may be reduced, but not enlarged after five years following the date of certification.

Section AA Administration of the Tax Increment Financing Plan

Upon adoption of the TIF Plan, the City shall submit a copy of such plan to the Minnesota Department of Revenue. The City shall also request that the County Auditor certify the original net tax capacity and net tax capacity rate of the TIF District. To assist the County Auditor in this process, the City shall submit copies of the TIF Plan, the resolution establishing the TIF District and adopting the TIF Plan, and a listing of any prior planned improvements. The City shall also send the County Assessor any assessment agreement establishing the minimum market value of land and improvements in the TIF District, and shall request that the County Assessor review and certify this assessment agreement as reasonable.

The County shall distribute to the City the amount of tax increment as it becomes available. The amount of tax increment in any year represents the applicable property taxes generated by the retained captured net tax capacity of the TIF District. The amount of tax increment may change due to development anticipated by the TIF Plan, other development, inflation of property values, or changes in property classification rates or formulas. In administering and implementing the TIF Plan, the following actions should occur on an annual basis:

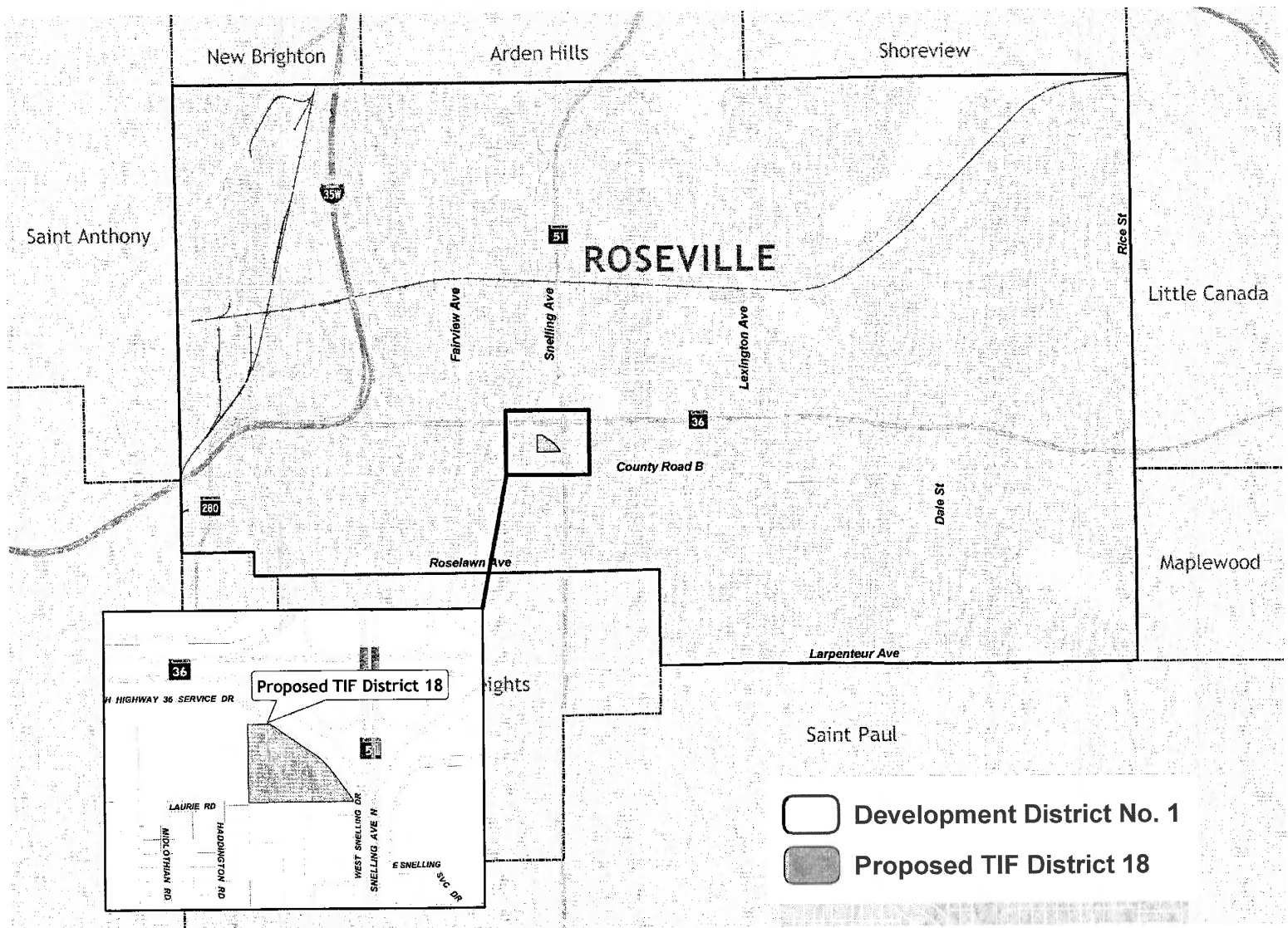
- (1) prior to July 1, the City shall notify the County Assessor of any new development that has occurred in the TIF District during the past year to insure that the new value will be recorded in a timely manner.
- (2) if the County Auditor receives the request for certification of a new TIF District, or for modification of an existing TIF District, before July 1, the request shall be recognized in determining local tax rates for the current and subsequent levy years. Requests received on or after July 1 shall be used to determine local tax rates in subsequent years.
- (3) each year the County Auditor shall certify the amount of the original net tax capacity of the TIF District. The amount certified shall reflect any changes that occur as a result of the following:
 - (a) the value of property that changes from tax-exempt to taxable shall be added to the original net tax capacity of the TIF District. The reverse shall also apply;
 - (b) the original net tax capacity may be modified by any approved enlargement or reduction of the TIF District;
 - (c) if laws governing the classification of real property cause changes to the percentage of estimated market value to be applied for property tax purposes, then the resulting increase or decrease in net tax capacity shall be applied proportionately to the original net tax capacity and the retained captured net tax capacity of the TIF District.

The County Auditor shall notify the City of all changes made to the original net tax capacity of the TIF District.

Section AB Financial Reporting and Disclosure Requirements

The City will comply with all reporting requirements for the TIF District under Minnesota Statutes, Section 469.175, subdivisions 5 and 6.

MAP OF TAX INCREMENT FINANCING (HOUSING) DISTRICT NO. 18
AND
MAP OF DEVELOPMENT DISTRICT NO. 1



Assumptions Report

**City of Roseville, Minnesota
Tax Increment Financing (Housing) District No. 18
Proposed Har Mar Apartments Project
TIF Plan Exhibits: \$12.2M EMV - Full 25+ years**

Type of Tax Increment Financing District	Housing
Maximum Duration of TIF District	25 years from 1st increment

Projected Certification Request Date	06/30/09
Decertification Date	12/31/38 (26 Years of Increment)

	<u>2008/2009</u>
Base Estimated Market Value	\$5,000,000

Original Net Tax Capacity	\$39,286
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	Assessment/Collection Year			
	2009/2010	2010/2011	2011/2012	2012/2013
Base Estimated Market Value	\$5,000,000	\$5,000,000	\$5,000,000	\$5,000,000
Estimated Decrease in Value - Bldg Demo		(\$0)	(\$0)	(\$0)
Estimated Increase in Value - New Construction	0	0	3,721,865	5,352,835
Total Estimated Market Value	5,000,000	5,000,000	8,721,865	10,352,835
Total Net Tax Capacity	\$39,286	\$39,286	\$69,036	\$81,359

City of Roseville	24.545%	
Ramsey County	46.546%	
ISD #623	10.624%	
Other	8.133%	
Local Tax Capacity Rate	89.848%	2008/2009

Fiscal Disparities Contribution From TIF District	NA
Administrative Retainage Percent (maximum = 10%)	10.00%
Pooling Percent	0.00%

<u>Bonds</u>		<u>Note (Pay-As-You-Go)</u>	
Bonds Dated	NA	Note Dated	02/01/10
Bond Issue @ 0.00% (NIC)	\$0	Note Rate	4.50%
Eligible Project Costs	\$0	Note Amount	\$913,610
Present Value Date & Rate	06/30/09	4.50% PV Amount	\$909,776
Present Value Date & Rate	06/30/09	5.00% PV Amount	\$841,743

Notes

Calculation assumes no changes to future tax rates, class rates, or market values.
 Construction schedule: Phase 1 25% renovated by Dec. 31, 2009 and 100% by Dec. 31, 2010.
 Phase 2 40% constructed by Dec. 31, 2011 and 100% by Dec. 31, 2012.
 Payable 2009 Tax Rates and Class Rates were provided by Ramsey County.
 Total project value of \$12.2M as provided by Ramsey County Assessor.
 Base value of \$5.0M for taxes payable 2009 - expected to be frozen for life of district.
 includes a 2.5% market value inflator.

Projected Tax Increment Report

City of Roseville, Minnesota
 Tax Increment Financing (Housing) District No. 18
 Proposed Har Mar Apartments Project
 TIF Plan Exhibits: \$12.2M EMV - Full 25+ years

Annual Period Ending (1)	Total Market Value (2)	Total Net Tax Capacity (3)	Less: Original Net Tax Capacity (4)	Retained Captured Net Tax Capacity (5)	Times: Tax Capacity Rate (6)	Annual Gross Tax Increment (7)	Less: State Aud. Deduction 0.360% (8)	Subtotal Gross Tax Increment (9)	Less: Admin. Retainage 10.00% (10)	Annual Net Revenue (11)	P.V. Annual Net Rev. To 06/30/09 4.50%
12/31/09		39,286	39,286	0	89.848%	0	0	0	0	0	0
12/31/10	5,000,000	39,286	39,286	0	89.848%	0	0	0	0	0	0
12/31/11	5,000,000	39,286	39,286	0	89.848%	0	0	0	0	0	0
12/31/12	8,721,865	69,036	39,286	0	89.848%	0	0	0	0	0	0
12/31/13	10,352,835	81,359	39,286	42,074	89.848%	37,802	136	37,666	3,767	33,899	28,112
12/31/14	12,731,041	99,289	39,286	60,003	89.848%	53,911	194	53,717	5,372	48,345	38,365
12/31/15	13,049,317	101,771	39,286	62,485	89.848%	56,142	202	55,940	5,594	50,346	38,233
12/31/16	13,375,550	104,315	39,286	65,029	89.848%	58,428	210	58,218	5,822	52,396	38,076
12/31/17	13,709,938	106,923	39,286	67,637	89.848%	60,771	219	60,552	6,055	54,497	37,897
12/31/18	14,052,687	109,596	39,286	70,310	89.848%	63,173	227	62,946	6,295	56,651	37,699
12/31/19	14,404,004	112,336	39,286	73,050	89.848%	65,634	236	65,398	6,540	58,858	37,481
12/31/20	14,764,104	115,144	39,286	75,859	89.848%	68,158	245	67,913	6,791	61,122	37,247
12/31/21	15,133,207	118,023	39,286	78,737	89.848%	70,744	255	70,489	7,049	63,440	36,994
12/31/22	15,511,537	120,974	39,286	81,688	89.848%	73,395	264	73,131	7,313	65,818	36,728
12/31/23	15,899,325	123,998	39,286	84,712	89.848%	76,112	274	75,838	7,584	68,254	36,448
12/31/24	16,296,808	127,098	39,286	87,812	89.848%	78,898	284	78,614	7,861	70,753	36,155
12/31/25	16,704,228	130,275	39,286	90,990	89.848%	81,752	294	81,458	8,146	73,312	35,849
12/31/26	17,121,834	133,532	39,286	94,247	89.848%	84,679	305	84,374	8,437	75,937	35,534
12/31/27	17,549,880	136,871	39,286	97,585	89.848%	87,678	316	87,362	8,736	78,626	35,208
12/31/28	17,988,627	140,292	39,286	101,007	89.848%	90,752	327	90,425	9,043	81,382	34,873
12/31/29	18,438,343	143,800	39,286	104,514	89.848%	93,904	338	93,566	9,357	84,209	34,530
12/31/30	18,899,301	147,395	39,286	108,109	89.848%	97,134	350	96,784	9,678	87,106	34,180
12/31/31	19,371,784	151,079	39,286	111,794	89.848%	100,444	362	100,082	10,008	90,074	33,823
12/31/32	19,856,078	154,856	39,286	115,571	89.848%	103,838	374	103,464	10,346	93,118	33,460
12/31/33	20,352,480	158,728	39,286	119,442	89.848%	107,316	386	106,930	10,693	96,237	33,092
12/31/34	20,861,292	162,696	39,286	123,410	89.848%	110,882	399	110,483	11,048	99,435	32,719
12/31/35	21,382,825	166,763	39,286	127,478	89.848%	114,536	412	114,124	11,412	102,712	32,342
12/31/36	21,917,395	170,933	39,286	131,647	89.848%	118,282	426	117,856	11,786	106,070	31,961
12/31/37	22,465,330	175,206	39,286	135,920	89.848%	122,122	440	121,682	12,168	109,514	31,578
12/31/38	23,026,963	179,586	39,286	140,300	89.848%	126,057	454	125,603	12,560	113,043	31,192
						\$2,202,544	\$7,929	\$2,194,615	\$219,461	\$1,975,154	\$909,776

* Delay receipt of increment until 2013 due to delayed construction

Estimated Impact on Other Taxing Jurisdictions Report

City of Roseville, Minnesota
Tax Increment Financing (Housing) District No. 18
Proposed Har Mar Apartments Project
TIF Plan Exhibits: \$12.2M EMV - Full 25+ years

Taxing Jurisdiction	Without Project or TIF District		With Project and TIF District					
	2008/2009 Taxable Net Tax Capacity (1)	2008/2009 Local Tax Rate	2008/2009 Taxable Net Tax Capacity (1)	Projected Retained Captured Net Tax + Capacity	New Taxable Net Tax = Capacity	Hypothetical Adjusted Local Tax Rate (*)	Hypothetical Decrease In Local Tax Rate (*)	Hypothetical Tax Generated by Retained Captured N.T.C. (*)
City of Roseville	9,145,388	24.545%	9,145,388	\$135,920	9,281,308	24.186%	0.359%	32,873
Ramsey County	123,546,836	46.546%	123,546,836	135,920	123,682,756	46.495%	0.051%	63,196
ISD #623	63,060,104	10.624%	63,060,104	135,920	63,196,024	10.601%	0.023%	14,409
Other (2)	---	8.133%	---	135,920	---	8.133%	---	---
Totals		89.848%				89.415%	0.433%	

* **Statement 1:** If the projected Retained Captured Net Tax Capacity of the TIF District was hypothetically available to each of the taxing jurisdictions above, the result would be a lower local tax rate (see Hypothetical Adjusted Tax Rate above) which would produce the same amount of taxes for each taxing jurisdiction. In such a case, the total local tax rate would decrease by 0.433% (see Hypothetical Decrease in Local Tax Rate above). The hypothetical tax that the Retained Captured Net Tax Capacity of the TIF District would generate is also shown above.

Statement 2: Since the projected Retained Captured Net Tax Capacity of the TIF District is not available to the taxing jurisdictions, then there is no impact on taxes levied or local tax rates.

- (1) Taxable net tax capacity = total net tax capacity - captured TIF - fiscal disparity contribution, if applicable.
(2) The impact on these taxing jurisdictions is negligible since they represent only 9.05% of the total tax rate.

Market Value Analysis Report

City of Roseville, Minnesota
Tax Increment Financing (Housing) District No. 18
Proposed Har Mar Apartments Project
TIF Plan Exhibits: \$12.2M EMV - Full 25+ years

<u>Assumptions</u>			
Present Value Date			06/30/09
P.V. Rate - Gross T.I.			5.00%
Increase in EMV With TIF District			\$16,917,395
Less: P.V of Gross Tax Increment			<u>938,650</u>
Subtotal			\$15,978,745
Less: Increase in EMV Without TIF			<u>0</u>
Difference			\$15,978,745
	Year	Annual Gross Tax Increment	Present Value @ 5.00%
1	2013	37,802	30,719
2	2014	53,911	41,723
3	2015	56,142	41,381
4	2016	58,428	41,015
5	2017	60,771	40,628
6	2018	63,173	40,223
7	2019	65,634	39,800
8	2020	68,158	39,362
9	2021	70,744	38,910
10	2022	73,395	38,446
11	2023	76,112	37,971
12	2024	78,898	37,486
13	2025	81,752	36,992
14	2026	84,679	36,492
15	2027	87,678	35,985
16	2028	90,752	35,473
17	2029	93,904	34,958
18	2030	97,134	34,438
19	2031	100,444	33,916
20	2032	103,838	33,392
21	2033	107,316	32,867
22	2034	110,882	32,342
23	2035	114,536	31,817
24	2036	118,282	31,293
25	2037	122,122	30,771
26	2038	<u>126,057</u>	<u>30,250</u>
		\$2,202,544	\$938,650

Projected Pay-As-You-Go Note Report
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City of Roseville, Minnesota
Tax Increment Financing (Housing) District No. 18
Proposed Har Mar Apartments Project
TIF Plan Exhibits: \$12.2M EMV - Full 25+ years

Note Date: 02/01/10
Note Rate: 4.50%
Amount: \$913,610

Date (1)	Principal (2)	Interest (3)	P & I (4)	Semi-Annual Net Revenue (5)	Capitalized Interest (6)	Loan Balance Outstanding (7)
						913,610.00
02/01/10	0.00	0.00	0.00	0.00	0.00	913,610.00
08/01/10	0.00	0.00	0.00	0.00	20,556.23	934,166.23
02/01/11	0.00	0.00	0.00	0.00	21,018.74	955,184.97
08/01/11	0.00	0.00	0.00	0.00	21,491.66	976,676.63
02/01/12	0.00	0.00	0.00	0.00	21,975.22	998,651.85
08/01/12	0.00	0.00	0.00	0.00	22,469.67	1,021,121.52
02/01/13	0.00	0.00	0.00	0.00	22,975.23	1,044,096.75
08/01/13	0.00	16,949.50	16,949.50	16,949.50	6,542.68	1,050,639.43
02/01/14	0.00	16,949.50	16,949.50	16,949.50	6,689.89	1,057,329.32
08/01/14	382.59	23,789.91	24,172.50	24,172.50	0.00	1,056,946.73
02/01/15	391.20	23,781.30	24,172.50	24,172.50	0.00	1,056,555.53
08/01/15	1,400.50	23,772.50	25,173.00	25,173.00	0.00	1,055,155.03
02/01/16	1,432.01	23,740.99	25,173.00	25,173.00	0.00	1,053,723.02
08/01/16	2,489.23	23,708.77	26,198.00	26,198.00	0.00	1,051,233.79
02/01/17	2,545.24	23,652.76	26,198.00	26,198.00	0.00	1,048,688.55
08/01/17	3,653.01	23,595.49	27,248.50	27,248.50	0.00	1,045,035.54
02/01/18	3,735.20	23,513.30	27,248.50	27,248.50	0.00	1,041,300.34
08/01/18	4,896.24	23,429.26	28,325.50	28,325.50	0.00	1,036,404.10
02/01/19	5,006.41	23,319.09	28,325.50	28,325.50	0.00	1,031,397.69
08/01/19	6,222.55	23,206.45	29,429.00	29,429.00	0.00	1,025,175.14
02/01/20	6,362.56	23,066.44	29,429.00	29,429.00	0.00	1,018,812.58
08/01/20	7,637.72	22,923.28	30,561.00	30,561.00	0.00	1,011,174.86
02/01/21	7,809.57	22,751.43	30,561.00	30,561.00	0.00	1,003,365.29
08/01/21	9,144.28	22,575.72	31,720.00	31,720.00	0.00	994,221.01
02/01/22	9,350.03	22,369.97	31,720.00	31,720.00	0.00	984,870.98
08/01/22	10,749.40	22,159.60	32,909.00	32,909.00	0.00	974,121.58
02/01/23	10,991.26	21,917.74	32,909.00	32,909.00	0.00	963,130.32
08/01/23	12,456.57	21,670.43	34,127.00	34,127.00	0.00	950,673.75
02/01/24	12,736.84	21,390.16	34,127.00	34,127.00	0.00	937,936.91
08/01/24	14,272.92	21,103.58	35,376.50	35,376.50	0.00	923,663.99
02/01/25	14,594.06	20,782.44	35,376.50	35,376.50	0.00	909,069.93
08/01/25	16,201.93	20,454.07	36,656.00	36,656.00	0.00	892,868.00
02/01/26	16,566.47	20,089.53	36,656.00	36,656.00	0.00	876,301.53
08/01/26	18,251.72	19,716.78	37,968.50	37,968.50	0.00	858,049.81
02/01/27	18,662.38	19,306.12	37,968.50	37,968.50	0.00	839,387.43
08/01/27	20,426.78	18,886.22	39,313.00	39,313.00	0.00	818,960.65
02/01/28	20,886.39	18,426.61	39,313.00	39,313.00	0.00	798,074.26
08/01/28	22,734.33	17,956.67	40,691.00	40,691.00	0.00	775,339.93
02/01/29	23,245.85	17,445.15	40,691.00	40,691.00	0.00	752,094.08
08/01/29	25,182.38	16,922.12	42,104.50	42,104.50	0.00	726,911.70
02/01/30	25,748.99	16,355.51	42,104.50	42,104.50	0.00	701,162.71
08/01/30	27,776.84	15,776.16	43,553.00	43,553.00	0.00	673,385.87
02/01/31	28,401.82	15,151.18	43,553.00	43,553.00	0.00	644,984.05
08/01/31	30,524.66	14,512.14	45,037.00	45,037.00	0.00	614,459.19
02/01/32	31,211.67	13,825.33	45,037.00	45,037.00	0.00	583,247.52
08/01/32	33,435.93	13,123.07	46,559.00	46,559.00	0.00	549,811.59
02/01/33	34,188.24	12,370.76	46,559.00	46,559.00	0.00	515,623.35
08/01/33	36,516.97	11,601.53	48,118.50	48,118.50	0.00	479,106.38
02/01/34	37,338.61	10,779.89	48,118.50	48,118.50	0.00	441,767.77
08/01/34	39,777.73	9,939.77	49,717.50	49,717.50	0.00	401,990.04
02/01/35	40,672.72	9,044.78	49,717.50	49,717.50	0.00	361,317.32
08/01/35	43,226.36	8,129.64	51,356.00	51,356.00	0.00	318,090.96
02/01/36	44,198.95	7,157.05	51,356.00	51,356.00	0.00	273,892.01
08/01/36	46,872.43	6,162.57	53,035.00	53,035.00	0.00	227,019.58
02/01/37	47,927.06	5,107.94	53,035.00	53,035.00	0.00	179,092.52
08/01/37	50,727.42	4,029.58	54,757.00	54,757.00	0.00	128,365.10
02/01/38	51,868.79	2,888.21	54,757.00	54,757.00	0.00	76,496.31
08/01/38	54,800.33	1,721.17	56,521.50	56,521.50	0.00	21,695.98
02/01/39	21,695.98	488.16	22,184.14	22,184.14	0.00	0.00
	\$1,057,329	\$883,487.32	\$1,940,816.64	\$1,940,816.64	\$143,719.32	
			Surplus Tax Increment	34,337.36		
			Total Net Revenue	\$1,975,154.00		

MEMORANDUM OF UNDERSTANDING

SIENNA GREEN PHASE II PROJECT

This Memorandum of Understanding is dated as of this 28 day of September, 2009 (the "Memorandum") and is entered into by and between the City of Roseville, Minnesota (the "City") and Aeon, a non-profit housing developer (the "Developer").

This Memorandum relates to a development more particularly described in Article 1 hereof (the "Project") to be constructed on the real property currently identified as the south 7 acres of the NE Quarter of the SE Quarter of the SE Quarter, Section 9, Township 29, Range 23, according to the Government Survey thereof and as parcel identification number 09-29-23-44-0247 (the "Development Property"). It is the intent of the City and Developer (collectively, the "Parties") that this Memorandum will outline the general understanding of the Parties with respect to the acquisition, construction and financing of the Project, and will provide a framework for and will be superseded in its entirety by a final development agreement (the "Development Agreement") to be entered into by the Parties at a later date as contemplated in Article 3 hereof.

Now therefore, the Parties hereby agree that the following sets forth an outline of their general understanding of the general plan for the development of the Project and a framework of the matters to be covered in the Development Agreement.

ARTICLE 1. DESCRIPTION OF THE PROJECT

1.01 Sienna Green Phase II (the "Project") will consist of the new construction of approximately 50 units of affordable rental housing. The approved site plan for the Project is attached hereto as **Exhibit A**.

1.02 The Developer expects that the construction of the Project will commence in May, 2010, and will be substantially completed by April, 2011.

ARTICLE 2. TAX INCREMENT FINANCING

2.01 On July 13, 2009, the City acted to create Tax Increment Financing District No. 18 (the "District"), which includes the parcel upon which the Project will be developed in accordance with Minnesota Statutes Section 469.174 through 469.1799. The City has submitted the required documentation to Ramsey County requesting certification of the district and to the Minnesota Department of Revenue and Office of the State Auditor.

2.02 Based on the assumptions detailed in the adopted Tax Increment Finance Plan, the District is expected to generate approximately \$2,194,515 of tax increment over the maximum term of 26 years, which translates into a present value of approximately \$934,481 using the September 2009 semi-annual long term Applicable Federal Rate (AFR) as the discount rate. The TIF Financing Plan set forward a budget not to exceed \$913,610 for land/building acquisition.

2.03 The City will provide the Developer with tax increment financing assistance for the Project, payable solely from tax increments derived from the Development Property in the form of pay-as-you-go tax increment assistance that may be evidenced by a tax increment revenue note (the "Note") in accordance with the terms and conditions of the Development Agreement. The amount, interest rate and payment terms of the Note and the administrative fee of the City will be negotiated subsequent to the execution of this Memorandum and prior to the execution of the Development Agreement.

2.04 The Developer acknowledges that the City will not initiate preparation of the final Development Agreement referred to in Article 3 hereof until the Developer has provided the City with sufficient detail about the Project to enable the City to accurately estimate the level of tax increment financing required by the Project to make it economically feasible. The principal amount of the Note will take into account, among other things, the need for "gap financing", the amount of public benefit from the Project, the design of the Project, and the costs of the Project which are eligible to be reimbursed from tax increments.

ARTICLE 3. DEVELOPMENT AGREEMENT

3.01 The Developer and City will exercise their best efforts to negotiate and enter into a binding Development Agreement, the provisions of which will supersede, but be consistent with the terms of this Memorandum. The Development Agreement will contain such other terms and conditions as are customary in the industry and are otherwise agreed to by Developer and City.

3.02 Prior to preparation of the Development Agreement, the Developer acknowledges that it will be required to provide the City with all documentation deemed necessary by the City to evaluate the Project, including but not limited to the following: (a) a timetable, acceptable to the City, for the construction of the Project; (b) letters of intent, commitment proposals or other evidence reasonably satisfactory to the City, from financial institutions, subject to customary contingencies, to provide financing for the Project; (c) Site plan and project design documents prepared by an architect, in form and substance acceptable to the City; and (d) a pro forma budget for the Project, showing all Project costs and sources of funds, including a separate break out of costs eligible to be financed under the Tax Increment Act; and

ARTICLE 4. FEES AND EXPENSES

4.01 The Developer agrees that it is responsible, whether or not the Development Agreement is executed, to pay the reasonable fees and expenses incurred by the City to the following: (a) the fees and expenses of the law firm of Briggs and Morgan, Professional Association, for the preparation of this Memorandum and the Development Agreement, the creation of the Tax Increment Financing District, (b) fees and expenses of the firm of Springsted for the financial analysis required for the creation of the Tax Increment Financing District, and (d) the fees and expenses of any other consultants retained by the City. The City will notify the Developer prior to retaining any additional consultants for the Project, which notification will include an estimate of the consultant's fees and expenses. The Developer acknowledges that the City will retain 10% of the Tax Increment to pay "Administrative Expenses" of the City incurred

with respect to the Tax Increment District, and therefore Tax Increments will not be available to reimburse the Developer for any of the costs paid by the Developer set forth above.

4.02 The Developer shall be responsible for its own legal fees, costs and expenses in connection with the Project.

4.03 The Developer has previously deposited \$5,000 with the City. The City shall be entitled to use the Deposit to pay costs set forth in Section 4.01 hereof, whether or not the Development Agreement is executed. If at any time prior to the execution of the Development Agreement, the City estimates that the costs and expenses set forth in Section 4.01 hereof will exceed the Deposit, the City will notify the Developer of any additional sum necessary to be deposited with the City to cover the remaining costs.

ARTICLE 5. TERMINATION

5.01 The City shall have the right to terminate this Memorandum by giving written notice to the Developer upon the occurrence of any of the following:

(a) the Developer fails to provide the City with the information required by Section 3.02 hereof by June 30, 2012; or

(b) the final Development Agreement contemplated by Article 3 hereof is not executed by the Developer and the City by December 31, 2012;

(c) if within 10 days of written notice from the City, the Developer does not make any additional deposit requested by the City pursuant to Section 4.03 hereof.

ARTICLE 6. APPROVALS

6.01 This Memorandum and the final Development Agreement will be subject to approval by the City Council of the City of Roseville.

6.02 The Developer represents that the execution and delivery of this Memorandum has been duly authorized by all necessary action on the part of the Developer.

6.03 The Developer releases from and covenants and agrees that the City, its governing body, officers, agents, servants and employees thereof (hereinafter, for purposes of this Section, collectively the "Indemnified Parties") shall not be liable for and agrees to indemnify, defend and hold harmless the Indemnified Parties from any claim, demand, suit, action or other proceeding whatsoever by any person or entity whatsoever arising or purportedly arising from the actions or inactions of the Developer (or if other persons acting on its behalf or under its direction or control) under this Memorandum.

6.04 The City and Developer each agree to proceed diligently and in good faith toward the execution of a legally binding Development Agreement, but neither shall be liable to the other by reason of any actual or alleged breach of this Memorandum.

In Witness whereof the Parties have signed their names as of the date first written above.

CITY OF ROSEVILLE, MINNESOTA

By Craig Klanning

Its Mayor

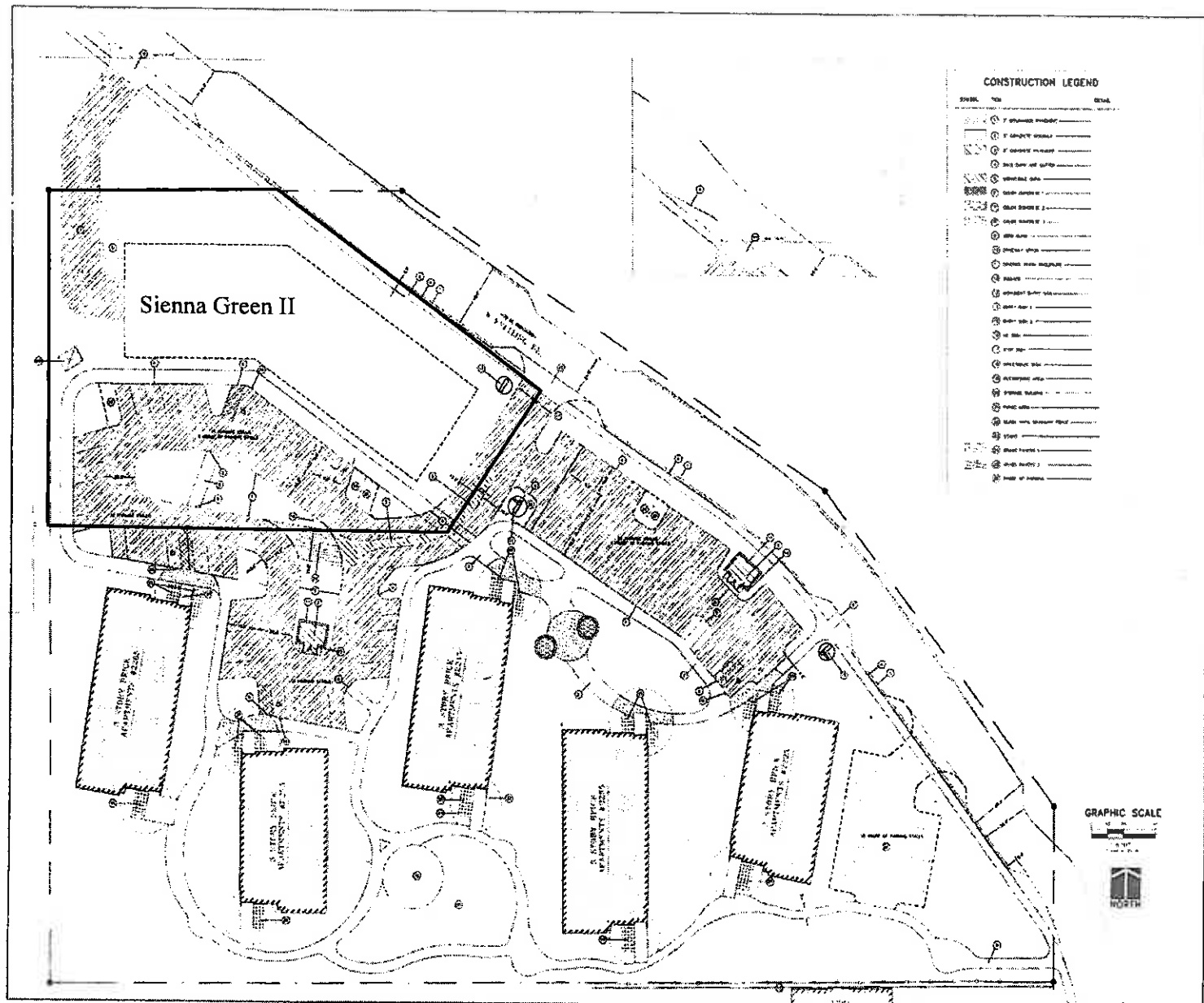
AEON

By [Signature]

Its President

Signature Page of Memorandum of Understanding by and between City of Roseville, Minnesota and Aeon.

Exhibit A: Sienna Green Site Plan (as approved in Final PUD)



RL Melchert LLC
923 St. Chas Street
Hudson, WI 54015

HAR MAR APARTMENTS

HAR MAR APTS
REHABILITATION
SHEET NO. C3

SITE
PLAN

C3

EXTRACT OF MINUTES OF A MEETING OF THE
CITY COUNCIL OF THE CITY OF
ROSEVILLE, MINNESOTA

HELD: May 9, 2011

Pursuant to due call and notice thereof, a regular meeting of the City Council of the City of Roseville, Ramsey County, Minnesota, was duly held at the City Hall on Tuesday, the 9th day of May, 2011, at 6:00 p.m.

The following Councilmembers were present:

and the following were absent:

Councilmember _____ introduced the following resolution and moved its adoption:

RESOLUTION CALLING PUBLIC HEARING ON THE PROPOSED
ADOPTION OF A MODIFICATION TO THE DEVELOPMENT PROGRAM
FOR DEVELOPMENT DISTRICT NO. 1; AND THE PROPOSED ADOPTION
OF A MODIFICATION TO THE TAX INCREMENT FINANCING PLAN FOR
TAX INCREMENT FINANCING DISTRICT NO. 18.

BE IT RESOLVED by the City Council (the "Council") of the City of Roseville, Minnesota (the "City"), as follows:

1. Public Hearing. This Council shall meet on June 13, 2011, at approximately 6:00 p.m., to hold a public hearing on the following matters: (a) the proposed adoption of a modification to the Development Program for Development District No. 1 and (b) the proposed adoption of a modification to the Tax Increment Financing Plan for Tax Increment Financing District No. 18, reflecting its increase in size, which are referred to collectively as the "Modifications", all pursuant to and in accordance with Minnesota Statutes, Sections 469.124 through 469.134, and Sections 469.174 through 469.1799, inclusive, as amended (collectively, the "Act").

2. Notice of Hearing; Filing of Modifications. The City Manager is hereby authorized to cause a notice of the hearing, substantially in the form attached hereto as Exhibit A, to be published as required by the Act and to place a copy of the proposed Modifications on file in the City Manager's Office at City Hall and to make such copies available for inspection by the public.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____ and upon vote being taken thereon, the following voted in favor:

35 and the following voted against the same:

36 Whereupon said resolution was declared duly passed and adopted.

37

38 STATE OF MINNESOTA)
39 CITY OF ROSEVILLE) ss.
40 COUNTY OF RAMSEY)

41 I, the undersigned, being the duly qualified and acting City Manager of the City of
42 Roseville, Minnesota, DO HEREBY CERTIFY that the attached resolution is a true and correct
43 copy of an extract of minutes of a meeting of the City Council of the City of Roseville,
44 Minnesota duly called and held, as such minutes relate to the calling of a public hearing on the
45 City's development district and tax increment financing district.

46 _____
47 City Manager

Exhibit A

CITY OF ROSEVILLE
COUNTY OF RAMSEY
STATE OF MINNESOTA

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the City Council (the "Council") of the City of Roseville, Ramsey County, Minnesota, will hold a public hearing on Tuesday, June 13, 2011, at 6:00 p.m., at the City Hall, in the City of Roseville, Minnesota, relating to the proposed adoption of a modification to the Development Program for Development District No. 1 and the proposed adoption of a modification to the Tax Increment Financing Plan for Tax Increment Financing District No. 18, reflecting its increase in size, which are referred to collectively as the "Modifications", all pursuant to and in accordance with Minnesota Statutes, Sections 469.124 through 469.134, and Sections 469.174 through 469.1799, inclusive, as amended. Copies of the Modifications will be on file and available for public inspection at the office of the City Manager at City Hall.

The property included within Tax Increment Financing District No. 18, as enlarged, is located within Development District No. 1 and is described in the Modifications on file in the office of the City Manager. A map of Development District No. 1 and Modified Tax Increment Financing District No. 18 therein is set forth below:

[INSERT MAP]

All interested persons may appear at the hearing and present their views orally or in writing prior to the hearing.

Dated: May 31, 2011.

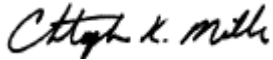
BY ORDER OF THE CITY COUNCIL

/s/ William J. Malinen
City Manager

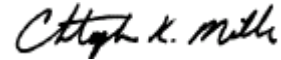
REQUEST FOR COUNCIL ACTION

Date: 5/09/11
Item No.: 13 . d

Department Approval



Acting City Manager Approval



Item Description: Receive Report From the Lawful Gambling Tax Force

BACKGROUND

At the February 14, 2011 City Council meeting, the Council established a Lawful Gambling Task Force to evaluate whether changes were warranted for City Code Chapter 304, which governs lawful gambling activities in Roseville.

The Task Force consisted of Councilmembers Tammy Pust and Jeff Johnson, as well as Finance Director Chris Miller. The Council established a deadline of May 9, 2011 for the Task Force to report their findings and recommendations.

Prior to establishing the Task Force, the Council held a brief dialogue on the merits of allowing Roseville-based organizations to conduct lawful-gambling activities at more than one location – a practice prohibited under the current Code. The Council also discussed possible revisions to some sections of the Code that could be outdated.

City Staff recently sent a letter to existing lawful gambling organizations inquiring whether they would be interested in expanding to an additional location(s). The City received responses from two organizations that indicated their support for a change in City Code that would allow it. It is believed that other community-based organizations made similar inquiries to various non-profit groups. To date, we have not heard from any other eligible organization indicating their desire to conduct lawful gambling activities.

The City also received correspondence from the Roseville Citizens League indicating their support for amending the City Code. A copy of the letter is attached.

Finally, Councilmember Pust has taken the lead in working with the North Suburban Community Foundation/Roseville Community Fund regarding some of the governing documents between the City and the Foundation/Fund. Councilmember Pust's submittals are included in Attachment D.

POLICY OBJECTIVE

Not applicable.

FINANCIAL IMPACTS

Not applicable.

31 **STAFF RECOMMENDATION**

32 Not applicable.

33 **REQUESTED COUNCIL ACTION**

34 For informatin purposes only. No formal action is requested.

35

Prepared by: Chris Miller, Finance Director

Attachments: A: City Code Chapter 304

B: Sample Letter to existing Lawful Gambling Organizations

C: Letter dated April 19, 2011 from the Roseville Citizens League

D: Suggested Revisions submitted by Councilmember Pust

36

CHAPTER 304 LAWFUL GAMBLING

SECTION:

- 304.01: Lawful Gambling Permitted
- 304.02: Number of Licenses and Permits
- 304.03: Approval of Licenses
- 304.04: Contributions
- 304.05: Law Enforcement and Administrative Costs
- 304.06: Gambling Exempt from State Licensing Requirements
- 304.07: Video Games of Chance

304.01: LAWFUL GAMBLING PERMITTED:

Lawful gambling as regulated in Minnesota statutes chapter 349 is permitted in the City if the organization conducting such activities meets the following criteria:

- A. Is licensed by the Minnesota Gambling Control Board.
- B. Is a tax exempt organization pursuant to 501(c) of the Internal Revenue Code or has a 501(c) application pending with the Internal Revenue Service.
- C. Maintains an address within the City.
- D. Has been in existence at least three consecutive years prior to the date it begins its gambling operations.
- E. Complies with all of the provisions of this Chapter. (Ord. 1114, 8-24-1992)

304.02: NUMBER OF LICENSES AND PERMITS:

- A. No organization licensed pursuant to Minnesota statutes section 349.16 may conduct lawful gambling at more than one location within the city, except any organization that does not conduct bingo and has prior to April 1, 1992, operated lawfully at more than one location, may continue to operate at the locations licensed as of that date. (Ord. 1138, 4-25-1994)
- B. The maximum number of bingo hall licenses and locations issued pursuant to Minnesota statutes section 349.164 within the City shall be one. Once the bingo hall license is issued by the City, it shall be limited to the location and to the owner specified on the license. Any change of location or ownership without the approval of the City shall result in the termination of the license. (Ord. 1244, 12-18-2000)
- C. The maximum number of licensees conducting gambling at the bingo hall license location described in subsection B of this section shall be five.
- D. The maximum number of premises permits issued pursuant to Minnesota statutes section 349.165 in addition to one bingo hall license described in subsection A of this section shall be eight. The gambling allowed at those eight locations shall be those allowed under class B licenses as referred to in Minnesota statutes section 349.16, subdivision 6, except as provided in subsection E of this section.

E. An organization in existence and qualified under section 501(c)7 or section 501(c)19 of the internal revenue code and which had its principal place of business or place of conducting meetings in the City prior to and continuing since 1980 may be granted a class A premises permit. Such organizations are not eligible for a bingo hall license as provided in Minnesota statutes section 349.164 and may conduct gambling activities or bingo only on their own property. (Ord. 1138, 4-25-1994)

304.03: APPROVAL OF LICENSES:

- A. Required Documentation: Any organization applying to the Gambling Control Board for a premises permit, bingo hall license or for the renewal of the same to conduct lawful gambling in the city shall, within ten days of making such application, file the following with the City:
1. Application: A duplicate copy of the Gambling Control Board application along with all supporting documents submitted to the Gambling Control Board.
 2. Corporate Documents: A copy of the Articles of Incorporation and Bylaws of the organization.
 3. Officers and Directors: The names and addresses of all officers and directors of the organization.
 4. Written Procedures: A copy of the organization's written procedures and/or criteria for distribution of funds derived from lawful gambling, its standardized application form and its written fiscal control procedures.
 5. IRS Exempt Letter: A copy of the Internal Revenue Service's tax exempt letter.
 6. Felony Conviction: Confirmation that no employee or principal officer of the organization has been convicted of a felony. No employee or organization whose principal officers or employees have a felony conviction shall be employed or retained in a gambling-related activity by any permitted organization.
 7. Investigation Reports: A copy of all records, all testimony or other information submitted to the State of Minnesota or Federal Government as part of any previous or current investigation or inquiry on any matter related to gambling.
- B. Investigation: Upon receipt of the materials required by subsection A of this section, and not later than 60 days from receipt of notice from the Gambling Control Board, City staff shall investigate the applicant and based upon said investigation, the City Council shall act on the application.
- C. Resolution: The action of the City Council to approve an application for a premises permit or bingo hall license within the city shall be by resolution. Failure to receive a majority affirmative vote of the City Council shall constitute a denial of the application.
- D. Additional Documents: Copies of any other reports or documents which are required to be subsequently filed by such organization with the Gambling Control Board, including monthly financial statements, shall be filed with the City within ten days of filing such materials with the Gambling Control Board.
- E. Compliance: to assure compliance with this Chapter, the City may require a premises permit holder or bingo hall licensee to provide copies of records as allowed under Minnesota Statutes. (Ord. 1327, 10-10-05)
- F. Suspension: Approval of a premises permit issued by the City under any part of this Chapter may be suspended by the City for violation of Chapter or revoked or any renewal delayed, for failure to meet the qualifications set out in subsection A or a willful violation of any part of this Chapter or a failure to comply, for any reason, with any provision, guarantee or claim made in an applicant's original license application to either the City or the State of Minnesota.
- G. Liability of City: No license or permit issued by the City grants the licensee a property right or entitlement to the license or permit. The City may not issue, renew nor revoke the license or permit for any reason and will not incur liability for any damages including, but not limited to, direct,

consequential or incidental damages, deprivation of property, loss of income, loss of profits or loss of livelihood.

H. Employment of Certified Public Accountant: All Class A licensees and permittees in the City shall use a certified public accounting firm for all accounting, bookkeeping and tax preparation services related directly to lawful gambling and charged as an allowable expense of the gambling operation. All agreements providing for such services shall be in writing and shall be submitted to the City as part of the application for review by the City to determine compliance with local and State regulations and laws. Any such agreements entered into or modified after issuance of a license or permit shall be filed with the City prior to the new agreement or modification becoming effective. The initial approval and the continuance of a license or permit are contingent upon such agreements complying with this Chapter and State statutes and regulations.

I. Management: All licensees and permittees in the City will assure continuous and active management of the gambling operation and will not delegate managerial responsibilities, will work continuously to operate in the most efficient manner to increase the amount of available lawful proceeds, will maintain the lowest possible costs and will encourage and use volunteers to the fullest extent possible. (Ord. 1114, 9-24-92)

304.04: CONTRIBUTIONS:

A. Each organization conducting lawful gambling within the City shall contribute at least 10% of its net profits derived from lawful gambling in the City to a fund administered and regulated by the City. The City then shall make disbursements to the Roseville Community Foundation, a Minnesota nonprofit corporation. This contribution shall be for the purposes defined in Minnesota Statute 349.12, subdivision 25. The City's directive to the Roseville Community Foundation as to the use of the funds shall be made at the time of the City's adoption of its annual budget or any amendments thereto. (Ord. 1327, 10-10-05)

B. Each organization conducting lawful gambling shall expend or contribute a minimum of 75% of its net profits from Roseville gambling sites by the end of each premises permit year. The remaining percentage may be carried over to the subsequent permit or license year. The City Council may grant a variance authorizing the organization to carry over more than 25% of all its net profits for expenditure in the subsequent permit or license year.

C. In the event any organization contributes to the City any sum in excess of the 10% as required in subsection A above, said funds will be deposited and allocated to the Roseville Community Foundation. In the event the Roseville Community Foundation is in any way unable to receive the allocated funds as set forth in subsection A above, the funds will be deposited in an interest bearing escrow account in a bank located in the City and allocated to uses by further order of the City Council. (Ord. 1114, 9-24-92)

304.05: LAW ENFORCEMENT AND ADMINISTRATIVE COSTS:

All organizations conducting lawful gambling within the City shall, within 30 days of the end of each month, pay to the City an amount equal to 3% of the gross receipts from lawful gambling conducted in the City in such month, less amounts actually paid for prizes, to cover the City's law enforcement and administrative costs in regulating lawful gambling. (Ord. 1114, 9-24-92)

304.06: GAMBLING EXEMPT FROM STATE LICENSING REQUIREMENTS:

A. Organizations which conduct lawful gambling which is exempt from State gambling licensing requirements may conduct such gambling within the City upon receipt of a permit from the City,

except this requirement does not apply to door prizes or raffles and bingo where total prizes are less than \$1,500 in a calendar year. (Ord. 1327, 10-10-05)

B. An application for such a permit, along with a fee as prescribed by the Fee Schedule, shall be made at least 30 days prior to the date such gambling is to be conducted. The application shall contain the following:

1. The name of the organization.
2. The address of the organization.
3. The place where such gambling will occur.
4. The total prizes to be awarded.

(Ord. 1327, 10-10-05)

C. Within 30 days of filing any reports with the Gambling Control Board, the organization shall file a copy of such reports with the City.

D. The provisions relating to law enforcement and administrative costs set forth in Section 304.05 shall not apply to gambling permitted pursuant to this Section. All other provisions of this Chapter apply to such organizations. (Ord. 1114, 9-24-92)

304.07: VIDEO GAMES OF CHANCE:

"Video games of chance", as defined by Minnesota Statutes, are prohibited in the City. (Ord. 1114, 9-24-92)

February 28, 2011

B-Dale Club
Attn: Lawful Gambling Manager
2100 Dale Street North
Roseville, MN 55113

Dear Lawful Gambling Manager,

As you may know, City Code Chapter 304 prohibits licensed organizations from conducting lawful gambling activities in more than one location within city limits. The Roseville City Council recently formed a Task Force to review this restriction (and perhaps others), to determine whether it should remain in place.

As part of that determination, we are interested in knowing whether your organization would consider expanding to one or more additional locations if it were permitted. The City Council intends to hold a public hearing in late April or early May to consider this change. If your organization would like to have the opportunity to conduct activities at more than one location, please contact me at: chris.miller@ci.roseville.mn.us, or by phone at: 651-792-7031 by April 15, 2011 so that I may relay that information to the City Council.

If you have any questions regarding this potential change in City Code or have any other related questions or concerns, please feel free to contact me.

Thanks.

Christopher K. Miller
Finance Director

Dan Roe, Jeff Johnson, Tam McGehee, Tammy Pust, Bob Willmus, 04:59 PM 4/19/2011, Roseville charita

To: Dan Roe, Jeff Johnson, Tam McGehee, Tammy Pust, Bob Willmus
From: Dick Lambert <rlambert@rclambert.com>
Subject: Roseville charitable gambling ordinance
Cc: Bill Malinen
Bcc: RCL Board
Attached:

To: Dan Roe, Jeff Johnson, Tam McGehee, Tammy Pust, Bob Willmus
From: Dick Lambert <rlambert@rclambert.com>
Subject: Roseville charitable gambling ordinance
Cc: Bill Malinen
Bcc: RCL Board
Attached:

I understand that the committee studying the Roseville charitable gambling ordinance will be recommending a minor change that would allow a charity to sponsor gambling in more than one physical location in Roseville.

The executive committee of the Roseville Citizens League voted unanimously to endorse this change.

Dick Lambert
Chairman
Roseville Citizens League
800 Brenner Avenue
Roseville, MN 55113
(651) 483-1492 (office)
(651) 483-9871 (home)

Agreement

Establishing the Roseville Community Fund

This agreement made this 4 day of OCTOBER, 1991, by and between the City of Roseville (the Donor) and the North Suburban Community Foundation, a Minnesota nonprofit corporation (the Trustee), effective as of October 4, 1991.

Whereas, the Donor desires to establish, and the Trustee is willing to hold and administer, a charitable fund to be known as the Roseville Community Fund (the Fund), it is agreed as follows:

1. The Trustee will hold and administer all property which the Donor or any other person or organization contributes to the Fund in accordance with the provisions of this Agreement and the charitable purposes of the Trustee contained in its Articles of Incorporation, all of which provisions and amendments are hereby incorporated by reference.

2. One half of the proceeds from lawful gambling received from the Donor shall be held and maintained by the Trustee as a permanent endowment.

Subject to paragraphs 3, 4, and 5, the Trustee shall make available one half of the proceeds from lawful gambling received from the Donor and the income from the endowment for allocation.

3. Unless amended or changed by the Donor, a Donor Advisory Board (the D.A.B) shall be established to represent the Community of Roseville on behalf of the City Council and it shall operate under the legal auspices of the Trustee. The D.A.B. shall evaluate and recommend the distribution of monies from the fund for the benefit of the Community of Roseville.

A. The D.A.B. shall be made up of the following membership and shall be governed under by-laws and rules as set out by resolution passed by the Trustee:

Youth Athletic organizations	2
Schools	1
Chamber of Commerce	1
Non-athletic 501 (c) 3 organizations	2
Roseville City Manager or designee	1
Clergy	1
North Suburban Community Foundation	3
Fraternal organizations	1
Service Clubs	1

B. As further required by the City Council of the City of Roseville, at least 5 members of the D.A.B must be female.

C. The Trustee shall follow the recommendation of the D.A.B. to the extent possible and appropriate, so long as the charitable

8. All records of the Fund shall be open for public inspection during reasonable hours.

9. This agreement may be terminated by either party upon a 180 day written notice. All unallocated assets, including the endowment fund, shall be distributed to a community foundation with similar purposes as the Trustee.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date written above.

North Suburban Community Foundation

Subscribed and sworn to before me
this 4th day of October, 1991.

By

Dale Shuck

Its

President

Mardell I. Olesen

Notary Public



MARDELL I. OLESEN
NOTARY PUBLIC—MINNESOTA
ANOKA COUNTY

My Comm. Expires Sept. 9, 1997

Subscribed and sworn to before me
this 4th day of October, 1991.

By

Harvey J. Parkes

Its

City Manager

Mardell I. Olesen

Notary Public



MARDELL I. OLESEN
NOTARY PUBLIC—MINNESOTA
ANOKA COUNTY

My Comm. Expires Sept. 9, 1997

Amended Agreement
Establishing the Roseville Community Fund

This Amended Agreement made this 24 day of October, 1994, by and between the City of Roseville (the Donor) and the North Suburban Community Foundation, a Minnesota nonprofit corporation (the Trustee), effective as of 24 October 1994.

Whereas, the Donor desires to establish, and the Trustee is willing to hold and administer, a charitable fund to be known as the Roseville Community Fund (the Fund), it is agreed as follows:

1. The Trustee will hold and administer all property which the Donor or any other person or organization contributes to the Fund in accordance with the provisions of this Amended Agreement and the charitable purposes of the Trustee contained in its Articles of Incorporation, all of which provisions and amendments are hereby incorporated by reference.

2. One half of the proceeds from lawful gambling received from the Donor shall be held and maintained by the Trustee as a permanent endowment.

Subject to paragraphs 3, 4, and 5, the Trustee shall make available one half of the proceeds from lawful gambling received from the Donor and the income from the endowment for allocation.

3. Unless amended or changed by the Donor, a Donor Advisory Board (the D.A.B.) shall be established to represent the Community of Roseville on behalf of the City Council. The D.A.B. shall evaluate and recommend to the Trustee the distribution of monies from the Fund for the benefit of the Community of Roseville.

A. The D.A.B. shall be made up of the following membership and shall be governed under by-laws and rules as set out by resolution passed by the Trustee:

Youth Athletic organizations	2
Schools	1
Chamber of Commerce	1
Non-athletic 501 (c) 3 organization's	2
Roseville City Manager or designee	1
Clergy	1
North Suburban Community Foundation	3
Fraternal organizations	1
Service Clubs	1

B. As further required by the City Council of the City of Roseville, at least 5 members of the D.A.B must be female.

C. The Trustee shall follow the recommendation of the D.A.B. to the extent possible and appropriate, so long as the charitable use is a qualified exempt purpose under the Internal Revenue Code, is of primary benefit to the Community of Roseville, and is in accordance with lawful purposes of Minnesota State Gambling Statutes.

4. Unless agreed to otherwise the Trustee shall

- continue to meet full IRS requirements for a tax-exempt foundation.

- provide administration including legally required reports, proper banking and investment, administrative controls and an annual independent audit.

- invest no less than 75% of the Roseville Community Fund's endowment and other available funds in investments as permitted under (M.S. 475.66)

- provide administrative oversight to the D.A.B.

- provide quarterly or other such reports to be made to the City Council including participating in an annual meeting with the Council.

5. If the D.A.B. does not recommend allocation of the monies from this Fund to the Trustee by the close of the Trustee's fiscal year, the Trustee reserves the right to distribute any unallocated funds. All eligible funds must be allocated by the Trustee within 120 days after the close of the Trustee fiscal year in accordance with Section 3 of this Amended Agreement.

6. The Trustee shall be paid an administrative fee in accordance with the policies adopted by the Trustee and amended from time to time.

A. Such fees not to exceed three percent (3%) per annum on the first \$500,000 of all Fund assets, 1% on all Fund assets over \$500,000.00, plus 1% of all grants paid from the Fund. Asset value shall be based on the average of the annual market value computed on a quarterly basis.

B. In addition, the Fund shall pay for a pro-rata share of the annual audit fee.

C. The Fund shall provide for any legal fees incurred as a result of any action filed against the Trustees acting in their capacity as Trustees, or against the members of the D.A.B. acting in their advisory role.

7. The Trustee may commingle the assets of the Fund with the assets of any other fund or funds which the Trustee holds and administers, provided that the separate identity of the new Fund,

and the distributions therefrom, are at all times maintained.

8. All records of the Fund shall be open for public inspection during reasonable hours.

9. This Amended Agreement may be terminated by either party upon a 180 day written notice. All unallocated assets, including the endowment fund, shall be distributed to a community foundation with similar purposes as the Trustee.

IN WITNESS WHEREOF, the parties hereto have executed this Amended Agreement as of the date written above.

North Suburban Community Foundation

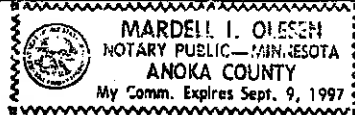
By Frances L. Brushin
Its President

City of Roseville

By David R. O'Leary
Its City Manager

Subscribed and sworn to before me this
28th day of October, 1994.

Mardell J. Olsen



SECOND AMENDED AGREEMENT
RELATED TO THE
ROSEVILLE COMMUNITY FUND

This Second Amended Agreement made this ___ day of May, 2011, by and between the City of Roseville ("City") and the North Suburban Community Foundation ("NSCF"), a Minnesota nonprofit corporation, is effective as of the date above written.

WHEREAS, the City desires to establish, and NSCF is willing to hold and administer, a charitable fund to be known as the Roseville Community Fund ("Fund").

THEREFORE, the parties agree as follows:

1. NSCF will hold and administer all property which the City or any other person or organization contributes to the Fund in accordance with the provisions of this Second Amended Agreement and the charitable purposes of the NSCF as described in its Articles of Incorporation and effective Bylaws, all of which provisions and amendments are hereby incorporated by reference.
2. One half of the proceeds from lawful gambling received from the City shall be held and maintained by NSCF as a permanent endowment. Subject to paragraphs 3, 4 and 5 of this Agreement, NSCF shall make available one half of the proceeds from lawful gambling received from the City and not more than 75% of the income from the endowment, as established annually by the NSCF, for allocation.
3. Unless amended or changed by the City, a Donor Advisory Board ("DAB") shall be established to represent the community of Roseville on behalf of the City Council. The DAB shall evaluate and recommend to the NSCF the distribution of monies from the Fund for the benefit of the community of Roseville.
 - A. The DAB shall be made up of 13 members ~~the following membership~~ and shall be governed under bylaws and rules as set out by resolution passed by the Board of Directors of NSCF.

Youth Athletic organizations	2
Schools	1
Chamber of Commerce	1
Non-athletic 501(c)(3) organizations	2
Roseville City Manager or designee	1
Clergy Faith Communities	1
North Suburban Community Foundation	3
Fraternal organizations	1
Service clubs	1
 - B. As further required by the City Council of the City of Roseville, at least five (5) members of the DAB must be female.

- C. The NSCF shall follow the recommendation of the DAB to the extent possible and appropriate, so long as the charitable use is a qualified exempt purpose under the Internal Revenue Code, is of primary benefit to the community of Roseville, and is in accordance with lawful purposes of Minnesota State gambling statutes.
4. Unless agreed to otherwise, the NSCF shall
 - A. Continue to meet full IRS requirements for a tax-exempt foundation.
 - B. Provide administration including legally required reports, proper banking and investment, administrative controls and an annual independent audit.
 - C. Invest no less than 75% of the Fund's endowment and other available funds in investments as permitted under ~~M.S. 475.66~~ Minnesota law.
 - D. Provide administrative ~~oversite~~ oversight to the DAB.
 - E. Provide quarterly or other such reports to be made to the City Council, including participating in an annual meeting with the Council, upon request.
5. If the DAB does not recommend allocation of the monies from this Fund to the NSCF by the close of the NSCF's fiscal year, the NSCF reserves the right to distribute any unallocated funds. All eligible funds must be allocated by the NSCF within 120 days after the close of the NSCF's fiscal year ~~in accordance with Section 3 of this Amended Agreement~~.
6. The NSCF shall be paid an administrative fee in accordance with the policies adopted by the NSCF as amended from time to time.
 - A. Such fees shall not ~~to exceed~~ three percent (3%) per annum ~~on the first \$500,000.00 of all Fund assets, 1% on all Fund assets over \$500,000.00,~~ plus 1% of all grants paid from the Fund. Asset value shall be based on the average of the annual market value computed on a quarterly basis.
 - B. ~~In addition, the Fund shall pay for a pro-rata share of the annual audit fee.~~
 - C. The Fund shall provide for any legal fees incurred as a result of any action filed against the Directors acting in their capacity as Directors, or against the members of the DAB acting in their advisory role.
7. The NSCF may commingle the assets of the Fund with the assets of any other fund or funds which the NSCF holds and administers, provided that the separate

identity of the new Fund, and the distributions therefrom, are at all times maintained.

8. All records of the Fund shall be open for public inspection during reasonable hours.
9. This Second Amended Agreement may be terminated by either party upon a 180 day written notice. Upon termination, all unallocated assets, including the endowment fund, shall be distributed to a community foundation with similar purposes as the NSCF.

IN WITNESS WHEREOF, the parties hereto have executed this Second Amended Agreement as of the date written above.

Dated: May __, 2011

NORTH SUBURBAN COMMUNITY FOUNDATION

Tammy L. Pust
President

Subscribed to before me this
__ day of ____, 2011.

Notary Public

Dated: May __, 2011

CITY OF ROSEVILLE

Daniel Roe
Mayor

Subscribed to before me this
__ day of ____, 2011.

Notary Public

CHAPTER 304 LAWFUL GAMBLING

SECTION:

- 304.01: Lawful Gambling Permitted
- 304.02: Number of Licenses and Permits
- 304.03: Approval of Licenses
- 304.04: Contributions
- 304.05: Law Enforcement and Administrative Costs
- 304.06: Gambling Exempt from State Licensing Requirements
- 304.07: Video Games of Chance

304.01: LAWFUL GAMBLING PERMITTED:

Lawful gambling as regulated in Minnesota statutes chapter 349 is permitted in the City if the organization conducting such activities meets the following criteria:

- A. Is licensed by the Minnesota Gambling Control Board.
- B. Is a tax exempt organization pursuant to 501(c) of the Internal Revenue Code or has a 501(c) application pending with the Internal Revenue Service.
- C. Maintains an address within the City.
- D. Has been in existence at least three consecutive years prior to the date it begins its gambling operations.
- E. Complies with all of the provisions of this Chapter. (Ord. 1114, 8-24-1992)

304.02: NUMBER OF LICENSES AND PERMITS:

- A. No organization licensed pursuant to Minnesota statutes section 349.16 may conduct lawful gambling at more than one location within the city, except any organization that does not conduct bingo and has prior to April 1, 1992, operated lawfully at more than one location, may continue to operate at the locations licensed as of that date. (Ord. 1138, 4-25-1994)
- B. The maximum number of bingo hall licenses and locations issued pursuant to Minnesota statutes section 349.164 within the City shall be one. Once the bingo hall license is issued by the City, it shall be limited to the location and to the owner specified on the license. Any change of location or ownership without the approval of the City shall result in the termination of the license. (Ord. 1244, 12-18-2000)
- C. The maximum number of licensees conducting gambling at the bingo hall license location described in subsection B of this section shall be five.
- D. The maximum number of premises permits issued pursuant to Minnesota statutes section 349.165 in addition to one bingo hall license described in subsection A of this section shall be eight. The gambling allowed at those eight locations shall be those allowed under class B licenses as referred to in Minnesota statutes section 349.16, subdivision 6, except as provided in subsection E of this section.

- 38 E. An organization in existence and qualified under section 501(c)7 or section 501(c)19 of the
39 internal revenue code and which had its principal place of business or place of conducting
40 meetings in the City prior to and continuing since 1980 may be granted a class A premises
41 permit.
42 Such organizations are not eligible for a bingo hall license as provided in Minnesota statutes
43 section 349.164 and may conduct gambling activities or bingo only on their own property.
44 (Ord. 1138, 4-25-1994)

45 **304.03: APPROVAL OF LICENSES:**

- 46 A. Required Documentation: Any organization applying to the Gambling Control Board for a
47 premises permit, bingo hall license or for the renewal of the same to conduct lawful
48 gambling in the city shall, within ten days of making such application, file the following
49 with the City:
- 50 1. Application: A duplicate copy of the Gambling Control Board application along with all
51 supporting documents submitted to the Gambling Control Board.
 - 52 2. Corporate Documents: A copy of the Articles of Incorporation and Bylaws of the
53 organization.
 - 54 3. Officers and Directors: The names and addresses of all officers and directors of the
55 organization.
 - 56 4. Written Procedures: A copy of the organization's written procedures and/or criteria for
57 distribution of funds derived from lawful gambling, its standardized application form and its
58 written fiscal control procedures.
 - 59 5. IRS Exempt Letter: A copy of the Internal Revenue Service's tax exempt letter.
 - 60 6. Felony Conviction: Confirmation that no employee or principal officer of the organization
61 has been convicted of a felony. No employee or organization whose principal officers or
62 employees have a felony conviction shall be employed or retained in a gambling-related
63 activity by any permitted organization.
 - 64 7. Investigation Reports: A copy of all records, all testimony or other information submitted
65 to the
66 State of Minnesota or Federal Government as part of any previous or current investigation or
67 inquiry on any matter related to gambling.
- 68 B. Investigation: Upon receipt of the materials required by subsection A of this section, and not
69 later than 60 days from receipt of notice from the Gambling Control Board, City staff shall
70 investigate the applicant and based upon said investigation, the City Council shall act on the
71 application.
- 72 C. Resolution: The action of the City Council to approve an application for a premises permit
73 or bingo hall license within the city shall be by resolution. Failure to receive a majority
74 affirmative vote of the City Council shall constitute a denial of the application.
- 75 D. Additional Documents: Copies of any other reports or documents which are required to be
76 subsequently filed by such organization with the Gambling Control Board, including
77 monthly financial statements, shall be filed with the City within ten days of filing such
78 materials with the Gambling Control Board.
- 79 E. Compliance: to assure compliance with this Chapter, the City may require a premises permit
80 holder or bingo hall licensee to provide copies of records as allowed under Minnesota
81 Statutes. (Ord. 1327, 10-10-05)
- 82 F. Suspension: Approval of a premises permit issued by the City under any part of this Chapter

may be suspended by the City for violation of Chapter or revoked or any renewal delayed, for failure to meet the qualifications set out in subsection A or a willful violation of any part of this Chapter or a failure to comply, for any reason, with any provision, guarantee or claim made in an applicant's original license application to either the City or the State of Minnesota.

G. Liability of City: No license or permit issued by the City grants the licensee a property right or entitlement to the license or permit. The City may not issue, renew nor revoke the license or permit for any reason and will not incur liability for any damages including, but not limited to, direct, consequential or incidental damages, deprivation of property, loss of income, loss of profits or loss of livelihood.

H. Employment of Certified Public Accountant: All Class A licensees and permittees in the City shall use a certified public accounting firm for all accounting, bookkeeping and tax preparation services related directly to lawful gambling and charged as an allowable expense of the gambling operation. All agreements providing for such services shall be in writing and shall be submitted to the City as part of the application for review by the City to determine compliance with local and State regulations and laws. Any such agreements entered into or modified after issuance of a license or permit shall be filed with the City prior to the new agreement or modification becoming effective. The initial approval and the continuance of a license or permit are contingent upon such agreements complying with this Chapter and State statutes and regulations.

I. Management: All licensees and permittees in the City will assure continuous and active management of the gambling operation and will not delegate managerial responsibilities, will work continuously to operate in the most efficient manner to increase the amount of available lawful proceeds, will maintain the lowest possible costs and will encourage and use volunteers to the fullest extent possible. (Ord. 1114, 9-24-92)

304.04: CONTRIBUTIONS:

A. Each organization conducting lawful gambling within the City shall contribute at least 10% of its net profits derived from lawful gambling in the City to a fund administered and regulated by the City. The City then shall make disbursements to the Roseville Community Fund, administered by the North Suburban Community Foundation, a Minnesota nonprofit corporation. This contribution shall be for the purposes defined in Minnesota Statute 349.12, subdivision 25. The City's directive to the Roseville Community Fund, administered by the North Suburban Community Foundation, as to the use of the funds shall be made at the time of the City's adoption of its annual budget or any amendments thereto. (Ord. 1327, 10-10-05)

B. Each organization conducting lawful gambling shall expend or contribute a minimum of 75% of its net profits from Roseville gambling sites by the end of each premises permit year. The remaining percentage may be carried over to the subsequent permit or license year. The City Council may grant a variance authorizing the organization to carry over more than 25% of all its net profits for expenditure in the subsequent permit or license year.

C. In the event any organization contributes to the City any sum in excess of the 10% as required in subsection A above, said funds will be deposited and allocated to the Roseville Community Fund, administered by the North Suburban Community Foundation. In the event the Roseville Community Fund, administered by the North Suburban Community Foundation is in any way unable to receive the allocated funds as set forth in subsection A

above, the funds will be deposited in an interest bearing escrow account in a bank located in the City and allocated to uses by further order of the City Council. (Ord. 1114, 9-24-92)

304.05: LAW ENFORCEMENT AND ADMINISTRATIVE COSTS:

All organizations conducting lawful gambling within the City shall, within 30 days of the end of each month, pay to the City an amount equal to 3% of the gross receipts from lawful gambling conducted in the City in such month, less amounts actually paid for prizes, to cover the City's law enforcement and administrative costs in regulating lawful gambling. (Ord. 1114, 9-24-92)

304.06: GAMBLING EXEMPT FROM STATE LICENSING REQUIREMENTS:

- A. Organizations which conduct lawful gambling which is exempt from State gambling licensing requirements may conduct such gambling within the City upon receipt of a permit from the City, except this requirement does not apply to door prizes or raffles and bingo where total prizes are less than \$1,500 in a calendar year. (Ord. 1327, 10-10-05)
- B. An application for such a permit, along with a fee as prescribed by the Fee Schedule, shall be made at least 30 days prior to the date such gambling is to be conducted. The application shall contain the following:
 - 1. The name of the organization.
 - 2. The address of the organization.
 - 3. The place where such gambling will occur.
 - 4. The total prizes to be awarded.(Ord. 1327, 10-10-05)
- C. Within 30 days of filing any reports with the Gambling Control Board, the organization shall file a copy of such reports with the City.
- D. The provisions relating to law enforcement and administrative costs set forth in Section 304.05 shall not apply to gambling permitted pursuant to this Section. All other provisions of this Chapter apply to such organizations. (Ord. 1114, 9-24-92)

304.07: VIDEO GAMES OF CHANCE:

"Video games of chance", as defined by Minnesota Statutes, are prohibited in the City. (Ord. 1114, 9-24-92)

Minn. Stat. 349.12, Subd. 25

Subd. 25. Lawful purpose.

(a) "Lawful purpose" means one or more of the following:

(1) any expenditure by or contribution to a 501(c)(3) or festival organization, as defined in subdivision 15a, provided that the organization and expenditure or contribution are in conformity with standards prescribed by the board under section 349.154, which standards must apply to both types of organizations in the same manner and to the same extent;

(2) a contribution to or expenditure for goods and services for an individual or family suffering from poverty, homelessness, or disability, which is used to relieve the effects of that suffering;

(3) a contribution to a program recognized by the Minnesota Department of Human Services for the education, prevention, or treatment of problem gambling;

(4) a contribution to or expenditure on a public or private nonprofit educational institution registered with or accredited by this state or any other state;

(5) a contribution to an individual, public or private nonprofit educational institution registered with or accredited by this state or any other state, or to a scholarship fund of a nonprofit organization whose primary mission is to award scholarships, for defraying the cost of education to individuals where the funds are awarded through an open and fair selection process;

(6) activities by an organization or a government entity which recognize military service to the United States, the state of Minnesota, or a community, subject to rules of the board, provided that the rules must not include mileage reimbursements in the computation of the per diem reimbursement limit and must impose no aggregate annual limit on the amount of reasonable and necessary expenditures made to support:

(i) members of a military marching or color guard unit for activities conducted within the state;

(ii) members of an organization solely for services performed by the members at funeral services;

(iii) members of military marching, color guard, or honor guard units may be reimbursed for participating in color guard, honor guard, or marching unit events within the state or states contiguous to Minnesota at a per participant rate of up to \$35 per diem; or

(iv) active military personnel and their immediate family members in need of support services;

(7) recreational, community, and athletic facilities and activities intended primarily for persons under age 21, provided that such facilities and activities do not discriminate on the basis of gender and the organization complies with section 349.154, subdivision 3a;

(8) payment of local taxes authorized under this chapter, taxes imposed by the United States on receipts from lawful gambling, the taxes imposed by section 297E.02, subdivisions 1, 4, 5, and 6, and the tax imposed on unrelated business income by section 290.05, subdivision 3;

(9) payment of real estate taxes and assessments on permitted gambling premises owned by the licensed organization paying the taxes, or wholly leased by a licensed veterans organization under a national charter recognized under section 501(c)(19) of the Internal Revenue Code;

(10) a contribution to the United States, this state or any of its political subdivisions, or any agency or instrumentality thereof other than a direct contribution to a law enforcement or prosecutorial agency;

(11) a contribution to or expenditure by a nonprofit organization which is a church or body of communicants gathered in common membership for mutual support and edification in piety, worship, or religious observances;

(12) an expenditure for citizen monitoring of surface water quality by individuals or nongovernmental organizations that is consistent with section 115.06, subdivision 4, and Minnesota Pollution Control Agency guidance on monitoring procedures, quality assurance protocols, and data management, provided that the resulting data is submitted to the Minnesota Pollution Control Agency for review and inclusion in the state water quality database;

(13) a contribution to or expenditure on projects or activities approved by the commissioner of natural resources for:

(i) wildlife management projects that benefit the public at large;

(ii) grant-in-aid trail maintenance and grooming established under sections 84.83 and 84.927, and other trails open to public use, including purchase or lease of equipment for this purpose; and

(iii) supplies and materials for safety training and educational programs coordinated by the Department of Natural Resources, including the Enforcement Division;

(14) conducting nutritional programs, food shelves, and congregate dining programs primarily for persons who are age 62 or older or disabled;

(15) a contribution to a community arts organization, or an expenditure to sponsor arts programs in the community, including but not limited to visual, literary, performing, or musical arts;

(16) an expenditure by a licensed fraternal organization or a licensed veterans organization for payment of water, fuel for heating, electricity, and sewer costs for:

(i) up to 100 percent for a building wholly owned or wholly leased by and used as the primary headquarters of the licensed veteran or fraternal organization; or

(ii) a proportional amount subject to approval by the director and based on the portion of a building used as the primary headquarters of the licensed veteran or fraternal organization;

(17) expenditure by a licensed veterans organization of up to \$5,000 in a calendar year in net costs to the organization for meals and other membership events, limited to members and spouses, held in recognition of military service. No more than \$5,000 can be expended in total per calendar year under this clause by all licensed veterans organizations sharing the same veterans post home;

(18) payment of fees authorized under this chapter imposed by the state of Minnesota to conduct lawful gambling in Minnesota;

(19) a contribution or expenditure to honor an individual's humanitarian service as demonstrated through philanthropy or volunteerism to the United States, this state, or local community;

(20) a contribution by a licensed organization to another licensed organization with prior board approval, with the contribution designated to be used for one or more of the following lawful purposes under this section: clauses (1) to (7), (11) to (15), (19), and (25);

(21) an expenditure that is a contribution to a parent organization, if the parent organization: (i) has not provided to the contributing organization within one year of the contribution any money, grants, property, or other thing of value, and (ii) has received prior board approval for the contribution that will be used for a program that meets one or more of the lawful purposes under subdivision 7a;

(22) an expenditure for the repair, maintenance, or improvement of real property and capital assets owned by an organization, or for the replacement of a capital asset that can no longer be repaired, with a fiscal year limit of five percent of gross profits from the previous fiscal year, with no carryforward of unused allowances. The fiscal year is July 1 through June 30. Total expenditures for the fiscal year may not exceed the limit unless the board has specifically approved the expenditures that exceed the limit due to extenuating circumstances beyond the organization's control. An expansion of a building or bar-related expenditures are not allowed under this provision.

(i) The expenditure must be related to the portion of the real property or capital asset that must be made available for use free of any charge to other nonprofit organizations, community groups, or service groups, or is used for the organization's primary mission or headquarters.

(ii) An expenditure may be made to bring an existing building that the organization owns into compliance with the Americans with Disabilities Act.

(iii) An organization may apply the amount that is allowed under item (ii) to the erection or acquisition of a replacement building that is in compliance with the Americans with Disabilities Act if the board has specifically approved the amount. The cost of the erection or acquisition of a replacement building may not be made from gambling proceeds, except for the portion allowed under this item;

(23) an expenditure for the acquisition or improvement of a capital asset with a cost greater than \$2,000, excluding real property, that will be used exclusively for lawful purposes under this section if the board has specifically approved the amount;

(24) an expenditure for the acquisition, erection, improvement, or expansion of real property, if the board has first specifically authorized the expenditure after finding that the real property will be used exclusively for lawful purpose under this section; or

(25) an expenditure, including a mortgage payment or other debt service payment, for the erection or acquisition of a comparable building to replace an organization-owned building that was destroyed or made uninhabitable by fire or catastrophe or to replace an organization-owned building that was taken or sold under an eminent domain proceeding. The expenditure may be only for that part of the replacement cost not reimbursed by insurance for the fire or catastrophe or compensation not received from a governmental unit under the eminent domain proceeding, if the board has first specifically authorized the expenditure.

(b) Expenditures authorized by the board under clauses (24) and (25) must be 51 percent completed within two years of the date of board approval; otherwise the organization must reapply to the board for approval of the project. "Fifty-one percent completed" means that the work completed must represent at least 51 percent of the value of the project as documented by the contractor or vendor.

(c) Notwithstanding paragraph (a), "lawful purpose" does not include:

(1) any expenditure made or incurred for the purpose of influencing the nomination or election of a candidate for public office or for the purpose of promoting or defeating a ballot question;

(2) any activity intended to influence an election or a governmental decision-making process;

(3) a contribution to a statutory or home rule charter city, county, or town by a licensed organization with the knowledge that the governmental unit intends to use the contribution for a pension or retirement fund; or

(4) a contribution to a 501(c)(3) organization or other entity with the intent or effect of not complying with lawful purpose restrictions or requirements.

Subd. 25a. Linked bingo game.

"Linked bingo game" means a bingo game played at two or more locations where licensed organizations are authorized to conduct bingo, where there is a common prize pool and a common selection of numbers or symbols conducted at one location, and where the results of the selection are transmitted to all participating locations by satellite, telephone, or other means by a linked bingo game provider.

Subd. 25b. Linked bingo game provider.

"Linked bingo game provider" means any person who provides the means to link bingo prizes in a linked bingo game, who provides linked bingo paper sheets to the participating organizations, who provides linked bingo prize management, and who provides the linked bingo game system.

Date: 5/09/11

Item: 13.e

CIP Interim Report

No Attachment